



April 22, 2021

**Public Notice: Type II – Administrative Review
Development Review**

Case File No.: **DR-004-21**

Project Name: **Tanasbourne Redevelopment**

You are provided this notice because there is a proposed land use application near your property in Hillsboro, Oregon. This is an opportunity for interested persons to submit written comments regarding this proposal during the comment period, before the Planning Director makes a decision on the request.

Request: Development Review approval for 1) a new quick-service restaurant with a drive-through; 2) site improvements such as reconfigured parking areas and landscaping; and 3) 12,191 square feet of new retail building area. The quick-service restaurant will be located in the existing parking area at the north end of the site. The parking lot reconfigurations and new building area are proposed where 16,091 square feet of the existing retail building and some adjacent existing parking lot areas will be removed. A copy of the proposed development site plan and elevations are attached for reference.

Site Address: 11170 NE Evergreen Parkway

Zoning: C-G Commercial-General

Assessor's Tax ID: 1N130CC01100

Owner: Rob Gray, Site Centers

Location: North of NE Cornell Road, southwest of NE Evergreen Parkway, and east of NW 185th Avenue (see site area map on reverse)

Applicant: Baysinger Partners Architecture

Applicant's Representative: Jennifer L. Rinkus, Baysinger Partners Architecture

For additional land use information on the subject site, visit Hillsboro Maps at www.hillsboro-oregon.gov/hillsboromaps

The applicable criteria for this application are included in Section 12.80.040 of the Community Development Code (CDC). The CDC may be viewed online at www.hillsboro-oregon.gov/communitydevelopmentcode or in the Planning Division office. The complete application and all related criteria are available at the Planning Division for public inspection at no cost, and/or copies can be provided at reasonable cost.

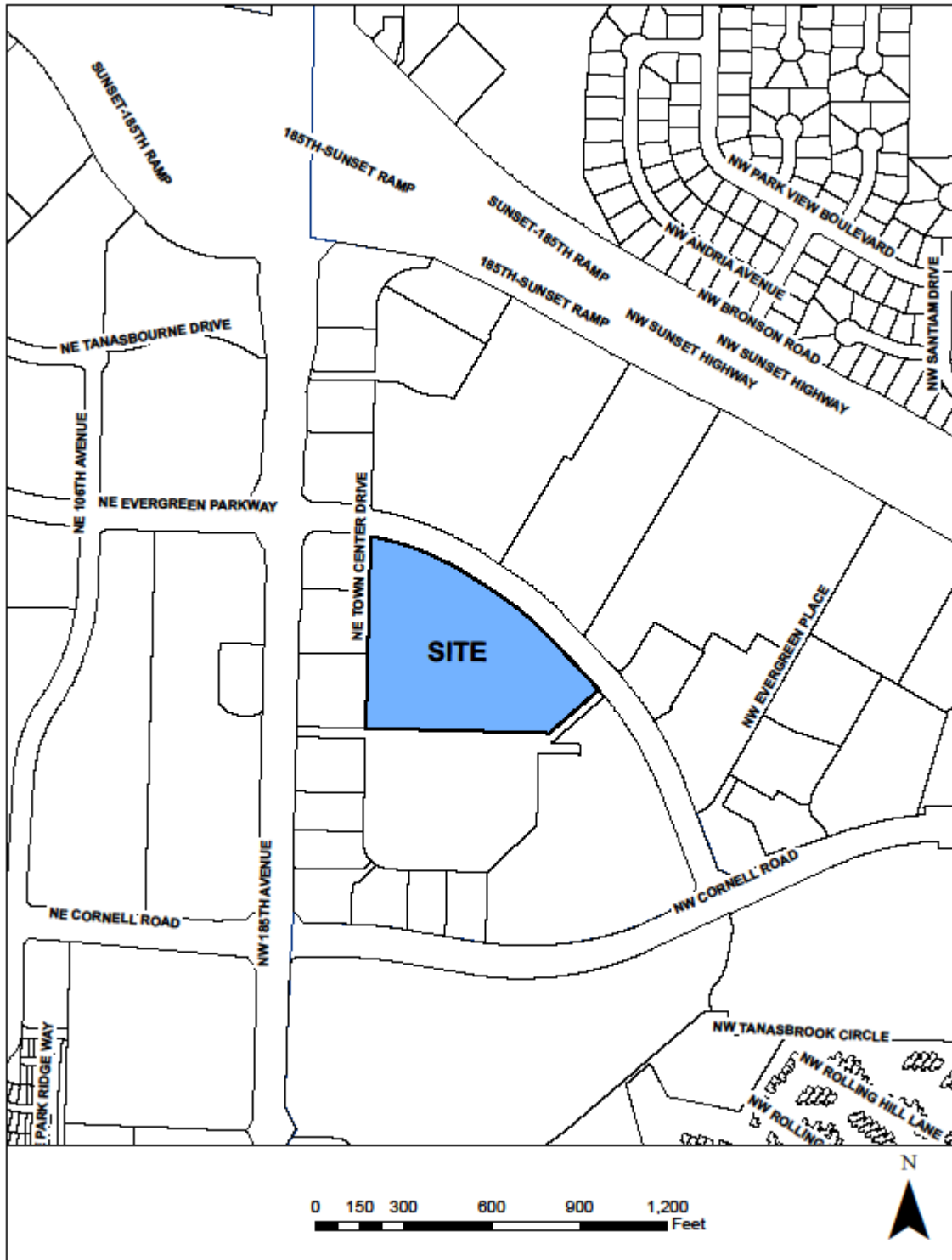
Interested parties may review the application materials and submit written comments concerning the proposal before the comment deadline. **Comment Deadline: 5:00 p.m. Thursday, May 6, 2021.** The Planning Director will make a final decision after all submitted materials have been reviewed. The Director's decision may be appealed to the City of Hillsboro Planning Commission pursuant to Section 12.70.180 of the CDC. Written comments may be mailed to the address below. Please reference the Case File No. in all written correspondence.

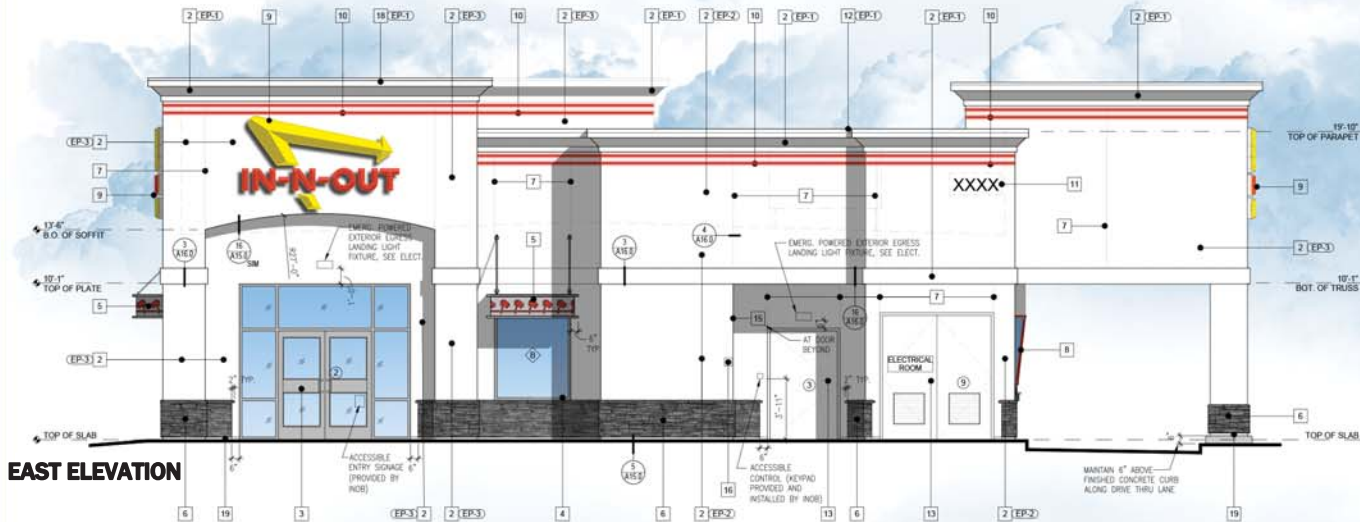
Pursuant to Oregon Revised Statutes (ORS), failure to raise an issue by the close of the comment period, or failure to provide sufficient specificity to afford the decision maker an opportunity to respond to the issue precludes appeal to the Land Use Board of Appeals based on that issue.

For more information contact: Sarah Bruce, Senior Planner, at (503) 681-6214, or by email: sarah.bruce@hillsboro-oregon.gov.

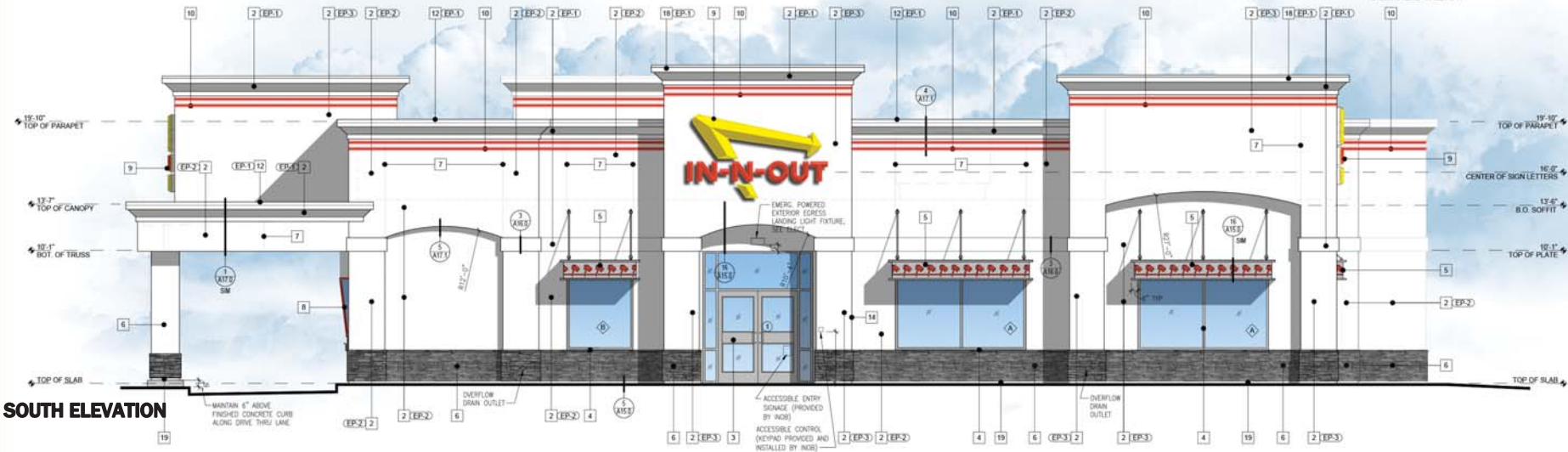
Notice to Mortgagee, Lien Holder, Vendor or Seller: ORS Chapter 215 requires that if you receive this notice it must promptly be forwarded to the purchaser.

Site Area Map:





EAST ELEVATION



SOUTH ELEVATION

KEY NOTES

- 1 NOT USED
- 2 STUCCO OVER FINE SAND FLOAT FINISH
- 3 ALUMINUM STOREFRONT DOORS CLEAR ANODIZED ALUMINUM
- 4 ALUMINUM WINDOW SILL CLEAR ANODIZED ALUMINUM
- 5 METAL CASING WITH RED-PAIN TRUSS. SEE SCHEDULE 8 & 9
- 6 STONE VENEER - FINE-GRAIN BLACK FOREST BY CONCRETE STONE WITH MATCHING CONCRETE STONE MARBLECUT SILL. APPLY PER MFR RECOMMENDATIONS DRY STACK
- 7 1/2" WIDE METAL FINISH PARAPET. SEE DETAIL 16 FOR CONCRETE JOINTS ON DRIVE PAVED CANYON WITH CONTROL JOINTS ON BOTTOM OF SOFFIT
- 8 SLIP-RESISTANT ALUMINUM WINDOW SILL. ALUMINUM SILL GLASS JOINTS TO HAVE POLISHED FINISH WITH SLICING JOINTS. WINDOW FRAMES TO BE FINISHED WITH ANALTA MIRON AND EPXY. PRIMER CAN BE TINTED GRAY. FINISH COAT TO BE ANALTA MIRON INC EPXY TINTED CUSTOM COLOR EP-1
- 9 1/4" IN-SUIT BRASSER ILLUMINATED LOGO SIGN UNDER SEPARATE PERMIT
- 10 L.E.D. DOUBLE BANDED LIGHTING UNDER SEPARATE PERMIT
- 11 INTERMOUNTED ILLUMINATED SIGN ADDRESS NUMBERS TO BE 1/2" HIGH, 4" WIDE, 1/4" THICK WESTLY OF 8.8 INCH PER FIRE DEPARTMENT AND CITY JURISDICTION ADDRESS DISPLAY REQUIREMENTS. ADDRESS SHALL BE DISPLAYED IN A VISIBLE PRE-EMPTIVE DIRECTION OF APPROXIMATE VELOCITY
- 12 PERMANENT NUMBERS AND LETTERS SHALL BE MADE OF DURABLE AND CLEANLY VISIBLE MATERIAL SUCH AS MODEL METAL, CERAMIC, PLASTIC AND VINYL. SPACERS OR SLICES ON NUMBERS ARE NOT ACCEPTABLE MATERIALS
- 13 NUMBERS SHALL BE OF COLOR CONTRASTING WITH BACKGROUND TO WHICH THEY ARE ATTACHED
- 14 NUMBERS SHALL BE A MINIMUM PROPORTION RATIO OF 8:1 HEIGHT TO WIDTH
- 15 NUMBERS CANNOT BE BRILLO
- 16 METAL GASKET TO MATCH STUCCO
- 17 HOLLOW METAL DOOR. SEE SHEET AT-1. THE DOOR AND JAMB SHALL HAVE POWDER COAT FINISH AS FOLLOWS: INTERIOR DOORS - TYPICAL; EXTERIOR DOORS - TYPICAL; WHITE; EXTERIOR DOORS - LAMINATE, SMOOTH FINISH. SOME GRAY OR TO MATCH EXTERIOR STUCCO PAINT COLOR. (SEE ELEVATIONS EP-1) WHERE FIELD PAINTING DOORS AND JAMBS IS NECESSARY AND RECOMMENDED, THE ALTERNATE REQUIRED TO USE ANALTA MIRON AND EPXY PRIMER. FINISH COAT TO BE ANALTA MIRON INC EPXY TINTED WHITE. EXTERIOR WINDOW JAMBS, SILL AND FRAME PRODUCTS TO MATCH EXTERIOR BUILDING PAINT COLOR EP-1. NOTE: TRASH ENCLOSURE METAL DOORS AND POSTS TO BE FIELD PAINTED USING ANALTA MIRON AS DECORATED ABOVE
- 18 1/2" HIGH STUB OUT FOR GAS LINE. MOUNT ON ADJACENT SIDE WALL
- 19 4" WIDE HIGH WHITE LETTERING "Burger Room" ON RED BACKGROUND SIGN MOUNT ON BISSER ROOM DOOR
- 20 RECESSED SIGN BOX AT 8" HIGH TO THE HEIGHT OF FIRE RISER ROOM. SEE DETAIL 16A1-1
- 21 RECESSED LED TAPE LIGHT IN SOFFIT (SHOWING GRIPES). SEE DETAIL 16A1-1
- 22 SUPPLY AND DEMAND OUT. REFER TO DETAIL 16A1-1
- 23 VENTURE EXPOSURE FOUNDATION WALL BELOW STUCCO. KEEP SIGNED AND PAINT TO MATCH WALL

EXTERIOR PAINT SCHEDULE

NO.	MFR.	MODEL	COLOR 1	COLOR 2	FINISH	REMARKS
EP-1	DUNN EDWARDS	ARTIST-SHELD IN	DEW 338	BONE CHINA	PRIMER W/D E.E. ULTRA-GRIP PREMIUM PRIMER	
EP-2	DUNN EDWARDS	ARTIST-SHELD IN	DEW 338	BONE CHINA	PRIMER W/D E.E. ULTRA-GRIP PREMIUM PRIMER	
EP-3	DUNN EDWARDS	ARTIST-SHELD IN	DEW 338	BONE CHINA	PRIMER W/D E.E. ULTRA-GRIP PREMIUM PRIMER	
EP-4	DUNN EDWARDS	ARTIST-SHELD IN	DEW 338	BONE CHINA	PRIMER W/D E.E. ULTRA-GRIP PREMIUM PRIMER	
EP-5	DUNN EDWARDS	ARTIST-SHELD IN	DEW 338	BONE CHINA	PRIMER W/D E.E. ULTRA-GRIP PREMIUM PRIMER	
EP-6	DUNN EDWARDS	ARTIST-SHELD IN	DEW 338	BONE CHINA	PRIMER W/D E.E. ULTRA-GRIP PREMIUM PRIMER	
EP-7	DUNN EDWARDS	ARTIST-SHELD IN	DEW 338	BONE CHINA	PRIMER W/D E.E. ULTRA-GRIP PREMIUM PRIMER	
EP-8	DUNN EDWARDS	ARTIST-SHELD IN	DEW 338	BONE CHINA	PRIMER W/D E.E. ULTRA-GRIP PREMIUM PRIMER	
EP-9	DUNN EDWARDS	ARTIST-SHELD IN	DEW 338	BONE CHINA	PRIMER W/D E.E. ULTRA-GRIP PREMIUM PRIMER	
EP-10	DUNN EDWARDS	ARTIST-SHELD IN	DEW 338	BONE CHINA	PRIMER W/D E.E. ULTRA-GRIP PREMIUM PRIMER	
EP-11	DUNN EDWARDS	ARTIST-SHELD IN	DEW 338	BONE CHINA	PRIMER W/D E.E. ULTRA-GRIP PREMIUM PRIMER	
EP-12	DUNN EDWARDS	ARTIST-SHELD IN	DEW 338	BONE CHINA	PRIMER W/D E.E. ULTRA-GRIP PREMIUM PRIMER	
EP-13	DUNN EDWARDS	ARTIST-SHELD IN	DEW 338	BONE CHINA	PRIMER W/D E.E. ULTRA-GRIP PREMIUM PRIMER	
EP-14	DUNN EDWARDS	ARTIST-SHELD IN	DEW 338	BONE CHINA	PRIMER W/D E.E. ULTRA-GRIP PREMIUM PRIMER	
EP-15	DUNN EDWARDS	ARTIST-SHELD IN	DEW 338	BONE CHINA	PRIMER W/D E.E. ULTRA-GRIP PREMIUM PRIMER	
EP-16	DUNN EDWARDS	ARTIST-SHELD IN	DEW 338	BONE CHINA	PRIMER W/D E.E. ULTRA-GRIP PREMIUM PRIMER	
EP-17	DUNN EDWARDS	ARTIST-SHELD IN	DEW 338	BONE CHINA	PRIMER W/D E.E. ULTRA-GRIP PREMIUM PRIMER	
EP-18	DUNN EDWARDS	ARTIST-SHELD IN	DEW 338	BONE CHINA	PRIMER W/D E.E. ULTRA-GRIP PREMIUM PRIMER	
EP-19	DUNN EDWARDS	ARTIST-SHELD IN	DEW 338	BONE CHINA	PRIMER W/D E.E. ULTRA-GRIP PREMIUM PRIMER	
EP-20	DUNN EDWARDS	ARTIST-SHELD IN	DEW 338	BONE CHINA	PRIMER W/D E.E. ULTRA-GRIP PREMIUM PRIMER	
EP-21	DUNN EDWARDS	ARTIST-SHELD IN	DEW 338	BONE CHINA	PRIMER W/D E.E. ULTRA-GRIP PREMIUM PRIMER	
EP-22	DUNN EDWARDS	ARTIST-SHELD IN	DEW 338	BONE CHINA	PRIMER W/D E.E. ULTRA-GRIP PREMIUM PRIMER	
EP-23	DUNN EDWARDS	ARTIST-SHELD IN	DEW 338	BONE CHINA	PRIMER W/D E.E. ULTRA-GRIP PREMIUM PRIMER	
EP-24	DUNN EDWARDS	ARTIST-SHELD IN	DEW 338	BONE CHINA	PRIMER W/D E.E. ULTRA-GRIP PREMIUM PRIMER	
EP-25	DUNN EDWARDS	ARTIST-SHELD IN	DEW 338	BONE CHINA	PRIMER W/D E.E. ULTRA-GRIP PREMIUM PRIMER	
EP-26	DUNN EDWARDS	ARTIST-SHELD IN	DEW 338	BONE CHINA	PRIMER W/D E.E. ULTRA-GRIP PREMIUM PRIMER	
EP-27	DUNN EDWARDS	ARTIST-SHELD IN	DEW 338	BONE CHINA	PRIMER W/D E.E. ULTRA-GRIP PREMIUM PRIMER	
EP-28	DUNN EDWARDS	ARTIST-SHELD IN	DEW 338	BONE CHINA	PRIMER W/D E.E. ULTRA-GRIP PREMIUM PRIMER	
EP-29	DUNN EDWARDS	ARTIST-SHELD IN	DEW 338	BONE CHINA	PRIMER W/D E.E. ULTRA-GRIP PREMIUM PRIMER	
EP-30	DUNN EDWARDS	ARTIST-SHELD IN	DEW 338	BONE CHINA	PRIMER W/D E.E. ULTRA-GRIP PREMIUM PRIMER	
EP-31	DUNN EDWARDS	ARTIST-SHELD IN	DEW 338	BONE CHINA	PRIMER W/D E.E. ULTRA-GRIP PREMIUM PRIMER	
EP-32	DUNN EDWARDS	ARTIST-SHELD IN	DEW 338	BONE CHINA	PRIMER W/D E.E. ULTRA-GRIP PREMIUM PRIMER	
EP-33	DUNN EDWARDS	ARTIST-SHELD IN	DEW 338	BONE CHINA	PRIMER W/D E.E. ULTRA-GRIP PREMIUM PRIMER	
EP-34	DUNN EDWARDS	ARTIST-SHELD IN	DEW 338	BONE CHINA	PRIMER W/D E.E. ULTRA-GRIP PREMIUM PRIMER	
EP-35	DUNN EDWARDS	ARTIST-SHELD IN	DEW 338	BONE CHINA	PRIMER W/D E.E. ULTRA-GRIP PREMIUM PRIMER	
EP-36	DUNN EDWARDS	ARTIST-SHELD IN	DEW 338	BONE CHINA	PRIMER W/D E.E. ULTRA-GRIP PREMIUM PRIMER	
EP-37	DUNN EDWARDS	ARTIST-SHELD IN	DEW 338	BONE CHINA	PRIMER W/D E.E. ULTRA-GRIP PREMIUM PRIMER	
EP-38	DUNN EDWARDS	ARTIST-SHELD IN	DEW 338	BONE CHINA	PRIMER W/D E.E. ULTRA-GRIP PREMIUM PRIMER	
EP-39	DUNN EDWARDS	ARTIST-SHELD IN	DEW 338	BONE CHINA	PRIMER W/D E.E. ULTRA-GRIP PREMIUM PRIMER	
EP-40	DUNN EDWARDS	ARTIST-SHELD IN	DEW 338	BONE CHINA	PRIMER W/D E.E. ULTRA-GRIP PREMIUM PRIMER	
EP-41	DUNN EDWARDS	ARTIST-SHELD IN	DEW 338	BONE CHINA	PRIMER W/D E.E. ULTRA-GRIP PREMIUM PRIMER	
EP-42	DUNN EDWARDS	ARTIST-SHELD IN	DEW 338	BONE CHINA	PRIMER W/D E.E. ULTRA-GRIP PREMIUM PRIMER	
EP-43	DUNN EDWARDS	ARTIST-SHELD IN	DEW 338	BONE CHINA	PRIMER W/D E.E. ULTRA-GRIP PREMIUM PRIMER	
EP-44	DUNN EDWARDS	ARTIST-SHELD IN	DEW 338	BONE CHINA	PRIMER W/D E.E. ULTRA-GRIP PREMIUM PRIMER	
EP-45	DUNN EDWARDS	ARTIST-SHELD IN	DEW 338	BONE CHINA	PRIMER W/D E.E. ULTRA-GRIP PREMIUM PRIMER	
EP-46	DUNN EDWARDS	ARTIST-SHELD IN	DEW 338	BONE CHINA	PRIMER W/D E.E. ULTRA-GRIP PREMIUM PRIMER	
EP-47	DUNN EDWARDS	ARTIST-SHELD IN	DEW 338	BONE CHINA	PRIMER W/D E.E. ULTRA-GRIP PREMIUM PRIMER	
EP-48	DUNN EDWARDS	ARTIST-SHELD IN	DEW 338	BONE CHINA	PRIMER W/D E.E. ULTRA-GRIP PREMIUM PRIMER	
EP-49	DUNN EDWARDS	ARTIST-SHELD IN	DEW 338	BONE CHINA	PRIMER W/D E.E. ULTRA-GRIP PREMIUM PRIMER	
EP-50	DUNN EDWARDS	ARTIST-SHELD IN	DEW 338	BONE CHINA	PRIMER W/D E.E. ULTRA-GRIP PREMIUM PRIMER	

ALTERNATE MANUFACTURER FOR COLOR EP-1, EP-2, AND EP-3 TO BE USED ONLY WHEN COORDINATED & NOT AVAILABLE.
NO ADDRESS NUMBERS FOR COLOR EP-1.

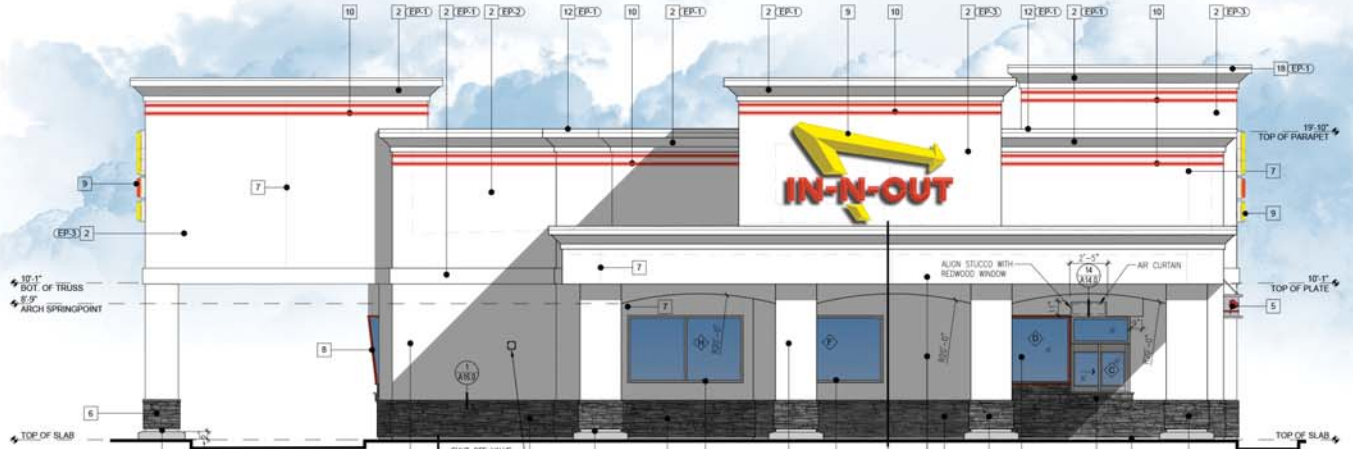


Colored Elevations
IN-N-OUT BURGER
Hillsboro, OR

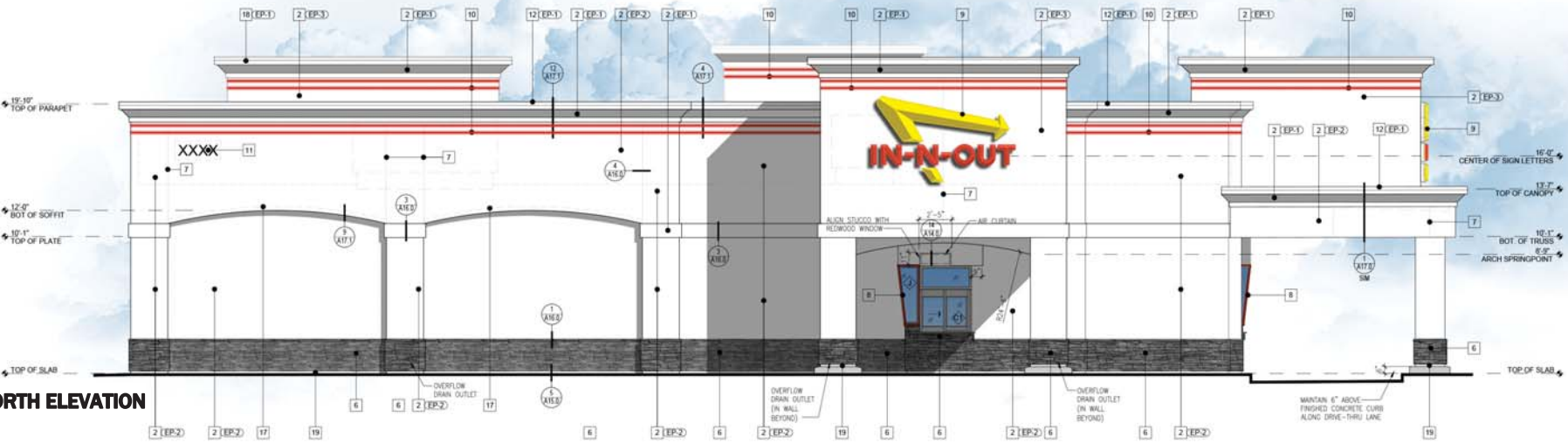
DATE: 02-08-21
SCALE: 1/8" = 1'-0"
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GHA Architecture / Development
14301 Quorum Drive, Suite 300
Dallas, Texas 75254 972.239.8884





WEST ELEVATION



NORTH ELEVATION

KEY NOTES

- NOT USED
- STUCCO OVER FINE SAND FLOT FINISH
- ALUMINUM STOREFRONT DOORS CLEAR ANODIZED ALUMINUM
- ALUMINUM WINDOWS CLEAR ANODIZED ALUMINUM
- METAL CASING WITH RED PAIN TRIM. SEE SCHEDULE 4 & 5.
- STONE VENEER - PLYWOOD BACK FINISH BY CONCRETE STONE WITH MATCHING CONCRETE STONE MASONRY TIE. APPLY PER MFR RECOMMENDATIONS DRY STACK
- 5/8" WIDE METAL FINISH CONTROL - SEE DETAIL 4188. ALLOW CONTROL JOINTS ON INSIDE WALL CANTY FASGA WITH CONTROL JOINTS ON BOTTOM OF SOFFIT
- SLIPED ALUMINUM WINDOW CASING. ALUMINUM SILL SLIDES. JOINTS TO HAVE FIBER GLOVE WITH ELASTIC JOINTS. REDWOOD FRAMES TO BE FINISH WITH ANATA MIRON AND EP-4. PRIMER CAN BE TINTED GRAY. FINISH COAT TO BE ANATA MIRON IN EP-4 TINTED CUSTOM COLOR EP-4.
- L.E.O. DOUBLE MANE LIGHTING UNDER SEPARATE PERMIT
- INTERNALLY FINISHED BLUE-PAINT ALUMINUM TO BE 1/2" OF JOINT. IF MFR IN WALL 5" FROM JOINT OF 8" HIGH PER FINE DEPARTMENT AND CITY JURISDICTION ADDRESS DISPLAY REQUIREMENTS
- ADDRESS SHALL BE DISPLAYED IN VISIBLE FROM CITY STREET DIRECTION OF APPROXIMATE VIEWERS
- PERMANENT NUMBERS AND LETTERS SHALL BE MADE OF DURABLE AND CLEANLY VISIBLE MATERIAL SUCH AS WOOD METAL, CORIAN, PLASTIC AND BRASS. OPERATOR OR SLIDES ON NUMBERS ARE NOT ACCEPTABLE MATERIALS
- NUMBERS SHALL BE OF COLOR CONTRASTING WITH BACKGROUND TO WHICH THEY ARE ATTACHED
- NUMBERS SHALL BE A MINIMUM PROPORTION RATIO OF 1/4" HEIGHT TO WIDTH.
- NUMBERS CANNOT BE BRILLES
- METAL GATE GOLD TO MATCH STUCCO
- HOLLOW METAL DOOR - SEE SHEET A111. THE DOOR AND JAMB SHALL HAVE POWDER COAT FINISH AS FOLLOWS: INTERIOR DOORS - TIGER OPAC - BRUSHED HIGH GLOSS FINISH. EXTERIOR DOORS - LARDNOL - BRUSHED FINISH. SOME CHANG TO MATCH EXTERIOR STUCCO PAINT COLOR - (SEPPY SITUATIONS - EP-1). WHERE FIELD PAINTING OCCURS AND JAMBS IS NECESSARY AND RECOMMENDED THE ALTERNATE MIGHT BE TO USE ANATA MIRON AND EP-4 PRIMER. FINISH COAT TO BE ANATA MIRON AND EP-4 COLOR EP-4. NOTE: TRASH ENCLOSURE METAL DOORS AND POSTS TO BE FIELD PAINTED USING ANATA MIRON AS DECORATED ABOVE.
- IF HIGH STUB OUT FOR GAS LINE MOUNT ON ADJACENT SIDE WALL
- IF MFR HIGH WHITE LETTERING UNDER ROOM ON RED BACKGROUND SIGN MOUNT ON RISER ROOM DOOR
- INDICATED SIGN BOX AT 6" FROM TO THE RIGHT OF FINE RISER ROOM. SEE DETAIL 16413
- INDICATED SIGN TAPE LIGHT IN SIGNIFY (SHOW) CHANGES. SEE DETAIL 16411
- SUPPLY AND DOWNGOUSIT. REFER TO DETAIL 16412
- VENTURE EXPOSED FOUNDATION SHALL BE PAINTED STUCCO. KEEP SIGNED AND PAINT TO MATCH WALL.

EXTERIOR PAINT SCHEDULE

NO.	MFR.	MODEL	ANTHESHIELD TO	DEW JOB	COLOR NAME	COLOR #	FINISH	REMARKS
EP-1	DUCK-DORNINGER	WILLIAMS	ANTHESHIELD TO	DEW JOB	BONE CHINA	HIGH GLOSS	PRIMER SEE S.E. ULTRA-GRIFF PREMIUM PRIMER	
EP-2	DUCK-DORNINGER	WILLIAMS	ANTHESHIELD TO	DEW JOB	BONE CHINA	HIGH GLOSS	PRIMER SEE S.E. ULTRA-GRIFF PREMIUM PRIMER	
EP-3	DUCK-DORNINGER	WILLIAMS	ANTHESHIELD TO	DEW JOB	BONE CHINA	HIGH GLOSS	PRIMER SEE S.E. ULTRA-GRIFF PREMIUM PRIMER	
EP-4	DUCK-DORNINGER	WILLIAMS	ANTHESHIELD TO	DEW JOB	BONE CHINA	HIGH GLOSS	PRIMER SEE S.E. ULTRA-GRIFF PREMIUM PRIMER	
EP-5	DUCK-DORNINGER	WILLIAMS	ANTHESHIELD TO	DEW JOB	BONE CHINA	HIGH GLOSS	PRIMER SEE S.E. ULTRA-GRIFF PREMIUM PRIMER	

ALTERNATE MANUFACTURE FOR COLOR EP-1, EP-2, EP-3, AND EP-4 TO BE USED ONLY WHEN SUPPLIERS IS NOT AVAILABLE. NO ALTERNATE ALLOWED FOR COLOR EP-5.



Colored Elevations
 IN-N-OUT BURGER
 Hillsboro, OR

DATE: 02-08-21
 SCALE: 1/8" = 1'-0"



GHA Architecture / Development
 14301 Quorum Drive, Suite 300
 Dallas, Texas 75254 972.239.8884





Baysinger Partners Architecture
1006 SE Grand Avenue, Suite 300
Portland, OR 97214
503-546-1600
courteney@baysingerpartners.com

Well-crafted simplicity.

SITE CENTERS
TANASBOURNE
LOT 1100
REMODEL

Revisions
COMPLETENESS 1 04.06.2021

SC 20026
Original Issued: 03.24.2021
Drawn/Check By: CM/ML

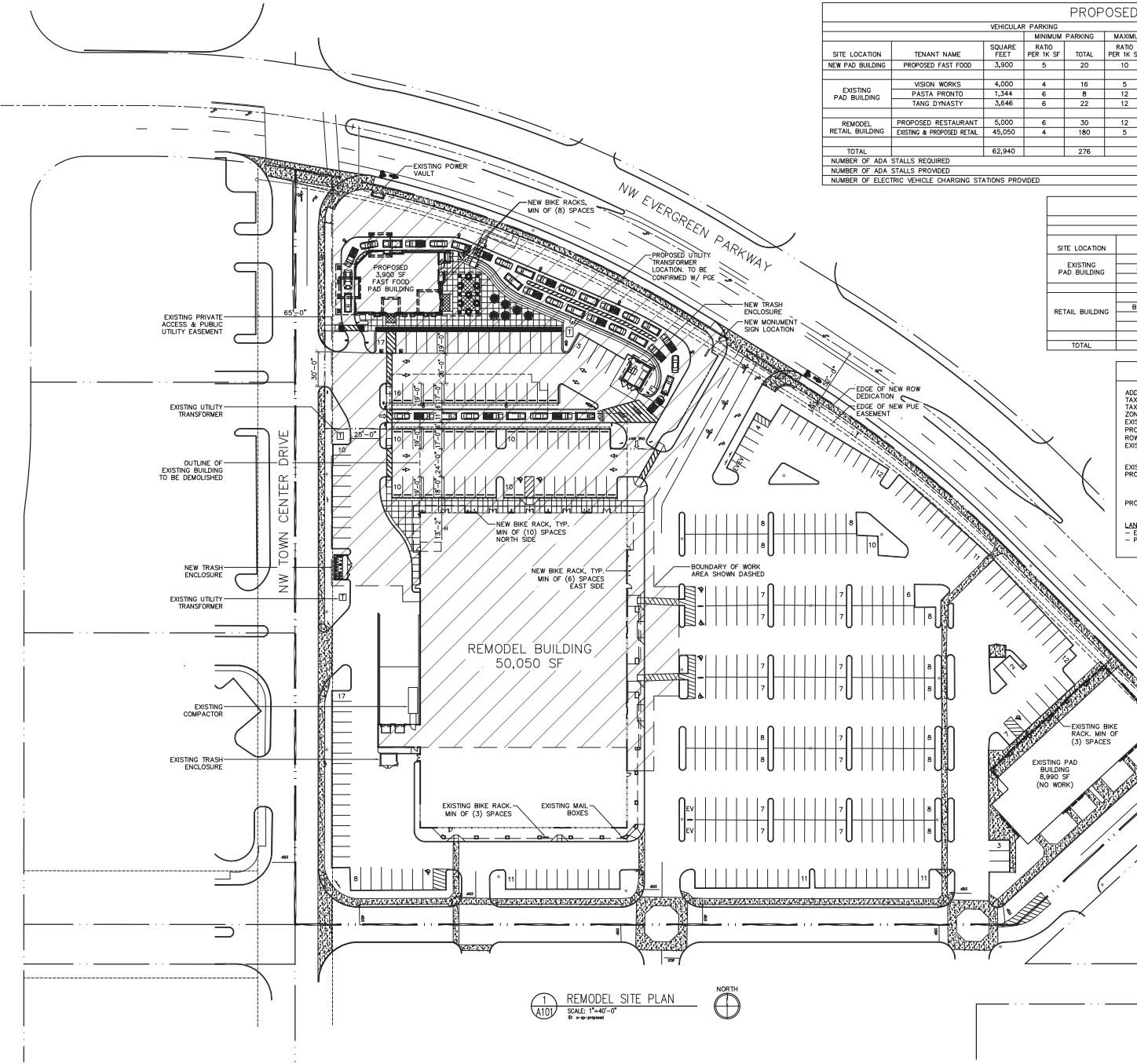
©2021 Baysinger Partners Architecture
REMODEL
SITE PLAN

A101
DESIGN REVIEW

PROPOSED PARKING													
VEHICULAR PARKING							BICYCLE PARKING						
SITE LOCATION	TENANT NAME	SQUARE FEET	MINIMUM PARKING		MAXIMUM PARKING		PROVIDED PARKING	SPACES / PER 1K SF	OTHER	NOTES	REQUIRED	PROVIDED	
			RATIO PER 1K SF	TOTAL	RATIO PER 1K SF	TOTAL							
NEW PAD BUILDING	PROPOSED FAST FOOD	3,900	5	20	10	39	38	2.00			8	8	
EXISTING PAD BUILDING	VISION WORKS	4,000	4	16	5	20	369		2,500	UP TO 50,000 SF	2		
	PASTA PRONTO	1,344	6	8	12	16					0	3	
	TANG DYNASTY	3,646	6	22	12	44					1		
REMODEL RETAIL BUILDING	PROPOSED RESTAURANT	5,000	6	30	12	60		0.25	2,500	UP TO 50,000 SF	1	19	
	EXISTING & PROPOSED RETAIL	45,050	4	180	5	225					18		
TOTAL		62,940		276		404	407				30	30	
NUMBER OF ADA STALLS REQUIRED												9	
NUMBER OF ADA STALLS PROVIDED												10	
NUMBER OF ELECTRIC VEHICLE CHARGING STATIONS PROVIDED												4	

EXISTING PARKING												
VEHICULAR PARKING							BICYCLE PARKING					
SITE LOCATION	TENANT NAME	SQUARE FEET	MINIMUM PARKING		MAXIMUM PARKING		PROVIDED PARKING	SPACES / PER 1K SF	OTHER	NOTES	REQUIRED	PROVIDED
			RATIO PER 1K SF	TOTAL	RATIO PER 1K SF	TOTAL						
EXISTING PAD BUILDING	VISION WORKS	4,000	4	16	5	20						
	PASTA PRONTO	1,344	6	8	12	16						
	TANG DYNASTY	3,646	6	22	12	44						
RETAIL BUILDING	STARBUCKS	2,997	6	13	12	25						
	BARNES & NOBLE	23,854	4	95	5	119						
	OFFICE DEPOT	31,330	4	125	5	157						
	PETCO	12,600	4	50	5	63						
TOTAL		78,871		329		444	386					

SITE INFORMATION	
ADDRESS:	11170 NE EVERGREEN PARKWAY
TAX MAP AND LOT:	1N130CC01100
TAX ASSESSOR:	R2041022
ZONING DESIGNATION:	CG - COMMERCIAL GENERAL
EXISTING SITE AREA (PRIOR TO ROW DEDICATION):	356,716 SF (8.19 ACRES)
PROPOSED SITE AREA (AFTER ROW DEDICATION):	347,462 SF (7.98 ACRES)
ROW DEDICATION AREA:	9,254 SF (0.21 ACRES)
EXISTING BUILDING AREA:	79,031 SF
- EXISTING BUILDING:	70,041 SF
- EXISTING PAD BUILDING:	8,990 SF
EXISTING LOT COVERAGE:	22.2%
PROPOSED BUILDING AREA:	62,940 SF
- REMODEL BUILDING:	50,050 SF
- NEW FAST FOOD PAD:	3,900 SF
- EXISTING PAD BUILDING:	8,990 SF
PROPOSED LOT COVERAGE:	18.1%
LANDSCAPE (IN WORK AREA ONLY)	
- EXISTING LANDSCAPE AREA:	16,671 SF
- PROPOSED LANDSCAPE AREA:	17,858 SF



1 REMODEL SITE PLAN
SCALE: 1/8" = 1'-0"
A101