

SECTION 25

NE 28TH AVENUE/EAST MAIN STREET PLAN AREA

(Section 25 Added By Ord. No. 4820/9-99.)

- (I) **Goal.** To provide for the development of a “Region 2040 Main Street Area” in the vicinity of the intersection of NE 28th Avenue and East Main Street which features linear mixed-use development along East Main Street between NE/SE 24th Avenue and NE 30th/SE 29th Avenues, pedestrian- and bicycle-friendly and transit supportive uses and nearby multifamily developments.

- (II) **General Policies.**
 - (A) Adopt land development and design standards that facilitate the establishment of a Region 2040 Main Street Area in the vicinity of the intersection of NE 28th Avenue and East Main Street.

 - (B) Maintain a residential scale within the NE 28th Avenue/East Main Street Plan Area and a transition in height, bulk and scale of new buildings and intensity of development within the most intensive development on East Main Street and the least intensive development adjacent to the surrounding residential community.

 - (C) Encourage a pedestrian orientation in new development and major redevelopment projects in the NE 28th Avenue/East Main Street Plan Area where buildings, streets and public and private spaces are oriented toward the pedestrian while not excluding the automobile.

 - (D) Establish provisions that reduce off-street parking requirements and provide for on street and shared parking.

- (III) **Land Use Policies.**
 - (A) The general development concept for the NE 28th Avenue/East Main Street Plan Area is shown on the NE 28th Avenue/East Main Street Plan Area Development Concept Map (Figure 25-2). The general development concept includes: Mixed-Use which consists of neighborhood commercial (retail and office) and residential uses and Multifamily Residential which consists of moderate-density residential development including attached single family dwellings, duplexes, attached duplexes, townhouses and rowhouses, garden apartments and multifamily dwellings. Detailed land uses for the Main Street Area shall be governed by the Community Development Code however, any use permitted by zoning shall be

required to be generally consistent with the development concept illustrated in the NE 28th Avenue/East Main Street Plan Area Development Concept Map. *(Amended by Ord. No. 6096/9-14.)*

Mixed-Use development is recommended on properties located within three areas on both the north and south sides of East Main Street. The first mixed-use area extends approximately 300 feet north of East Main Street beginning on the east side of NE 24th Avenue and extending east to the west side of NE 28th Avenue. The second mixed-use area is located roughly 200 feet north of East Main Street beginning about 140 feet east of the intersection of East Main Street and NE 28th Avenue extending east about 280 feet. The third area extends approximately 200 feet south of East Main Street beginning on the east side of SE 24th Avenue extending east to the west side of SE 29th Avenue.

Multifamily residential developments are encouraged on properties directly abutting the mixed-use areas.

(IV) Urban Design Policies.

(A) Site Design and Parking:

- (1) Streets and parking areas within the NE 28th Avenue/East Main Street Plan Area should support the establishment of a pedestrian-oriented main street and are recommended to feature the following characteristics:
 - (a) Block lengths should not exceed 200 feet in length unless a greater length provides a public benefit such as improved circulation.
 - (b) Vehicular access along East Main Street and NE 28th Avenue is limited to the extent practicable.
 - (c) On-street parking and shared parking lots within mixed-use areas are recommended.
 - (d) Use of alleys for access to rear parking garages or spaces is encouraged.
 - (e) Adjacent developments are encouraged to share parking areas and accessways in order to encourage pedestrian activity and reduce redundant driveways.
- (2) Streets and parking areas within the NE 28th Avenue /East Main Street Plan Area may be designed to incorporate vegetated stormwater management facilities and other “green streets” design elements and facilities where technically feasible and appropriate. *(Added by Ord. No. 5728/3-07.)*

(B) Pedestrian Network:

- (1) Pedestrian amenities within streets and pedestrian travel ways are encouraged. Pedestrian amenities include wider sidewalks, reduced curb cuts, continuous building lines, human-scale buildings, street trees, landscaping, appropriately designed stormwater management facilities, street furniture, weather protection such as awnings or canopies, pedestrian-oriented signs, pedestrian scale lighting and public spaces and facilities. Pedestrian amenities are encouraged along East Main Street and all the mixed-use blocks located along NE/SE 24th Avenue, NE 25th Avenue, SE 26th Avenue, NE 28th Avenue, SE 29th Avenue and NE 30th Avenue. *(Amended by Ord. No. 5728/3-07.)*
- (2) To provide access to and from residential and other surrounding areas, pedestrian connections to these areas from the NE 28th Avenue/East Main Street Plan Area are a high priority.

(C) Building Orientation and Design:

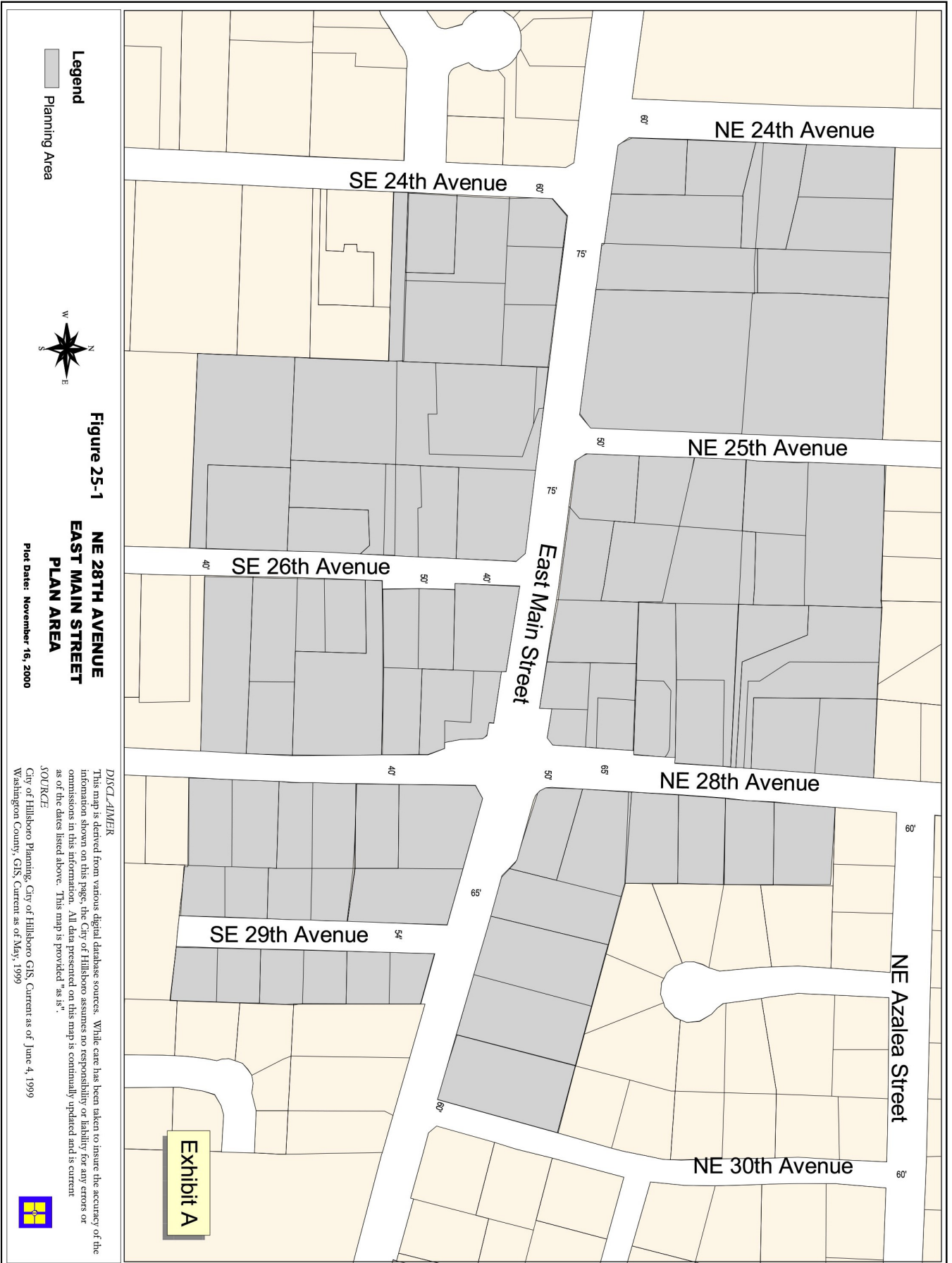
- (1) All developments within the NE 28th Avenue/East Main Street Plan Area shall be subject to the City Development Review and Approval policies and provisions, including the building orientation and design policies and provisions.
- (2) Developments within the mixed-use areas along East Main Street shall be oriented toward the street. Mixed-Use developments not oriented toward East Main Street shall be oriented toward the streets adjoining East Main Street. Within mixed-use developments, retail and commercial uses are encouraged within ground floor spaces while the upper floors may contain commercial or residential uses.
- (3) All new multifamily residential development shall be oriented toward adjoining streets in order to create an urban, pedestrian environment.
- (4) Throughout the NE 28th Avenue/East Main Street Plan Area installation of shade trees, shrubs and groundcovers is encouraged.

(V) Transportation Policies.

- (A) The City transportation goals, policies and implementation measures contained in Section 20, Transportation of the Comprehensive Plan as amended shall apply to the development or improvement of transportation facilities within the NE 28th Avenue/East Main Street Plan Area unless modified by any provisions within this Section.
- (B) The planned transportation system and improvements (including roadway functional classifications and locations, pedestrian and bicycle facilities, transit, and other travel modes) identified in

Transportation Maps in Section 32 of the Comprehensive Plan as amended shall apply to the NE 28th Avenue/East Main Street Plan Area unless modified by any provisions within this Section.

- (C) All new developments within the NE 28th Avenue/East Main Street Plan Area shall be subject to City Development Review and Approval.



Legend
 Planning Area



Figure 25-1

**NE 28TH AVENUE
 EAST MAIN STREET
 PLAN AREA**

Plot Date: November 16, 2000

DISCLAIMER

This map is derived from various digital database sources. While care has been taken to insure the accuracy of the information shown on this page, the City of Hillsboro assumes no responsibility or liability for any errors or omissions in this information. All data presented on this map is continually updated and is current as of the dates listed above. This map is provided "as is".

SOURCE

City of Hillsboro Planning, City of Hillsboro GIS, Current as of June 4, 1999
 Washington County, GIS, Current as of May, 1999



Exhibit A

