



March 13, 2024

To: Planning Commission

From: Planning Division

RE: **Report of Administrative Review Land Use Applications**

The following report represents administrative review applications processed by the Planning Division staff for the month of February 2024.

Applications Approved by the Planning Division

File No.	Name/Description	Site	Applicant
DR-035-23 Approved on 2/14/2024	Sewell Corporate Park Development Review for two building industrial campuses on 9 lots approximately 23.9 acres in size zoned I-S.	No Applicable Address; 1N220D002301, 1N220D001500 1N220D001502 1N220D001600 1N220D001700 1N220D001800 1N220D002400 1N220D002500 1N220D002501	Hillary Harris Harper Houf Peterson Righellis, Inc 503-221-1131
MOD-002-24 Approved on 2/1/2024	Amberglen Legacy Marriott Hotel Minor Modification of an approved Development Review (DR-015-19) to make alter the internal layout, entrance location and street level glazing on a lot 2.51 acres in size zoned PUD: UC-AC, UC-OR, UC-MU	1875 NE AMBERGLEN PKWY; 1N236BB01100,	Matt Robinson DOWL 971-229-8318
MOD-003-24 Approved on 2/26/2024	Reed's Crossing Phase 3 SRA Weekley Minor Modification to an approved PUD (PUD-003-20) to add architectural elevations. 3-unit dwelling attached "Faux Single Dwelling": Farmhouse & Prairie revision of 3 bedrooms, no ADU and no side cantilevers & NW Modern new elevation. 5-unit & 4-unit dwelling attached: NW Modern new elevation	No Applicable Address; 1S211 – 4 Lots 1S211DC – 180 Lots 1S214AB – 198 Lots	DAVID WEEKLEY HOMES DAVID WEEKLEY HOMES 5032134409

MOD-004-24 Approved on 2/27/2024	NTT Global Data Center Minor Modification to Development Review (DR-025- 20) to modify the location of the temporary jobsite office trailers located on a lot approximately 47.85 acres in size zoned I-P.	4510 NE DAWSON CREEK DR; 1N2280002900,	Dan Williams Faster Permits 503-819-7754
MOD-020-23 Approved on 2/1/2024	Aligned Data Centers (PDX01) Modification to Development Review Condition of Approval requiring utility undergrounding (DR-021-23).	4705 NE 30TH AVE; 1N220D000300, 1N220D000400 1N2210001801 1N2210001802 1N2210001804	Hillary Harris Harper Houf Peterson Righellis 503-211-1131

If you have any questions regarding this report, please contact Chris Barry at 503-681-6179.

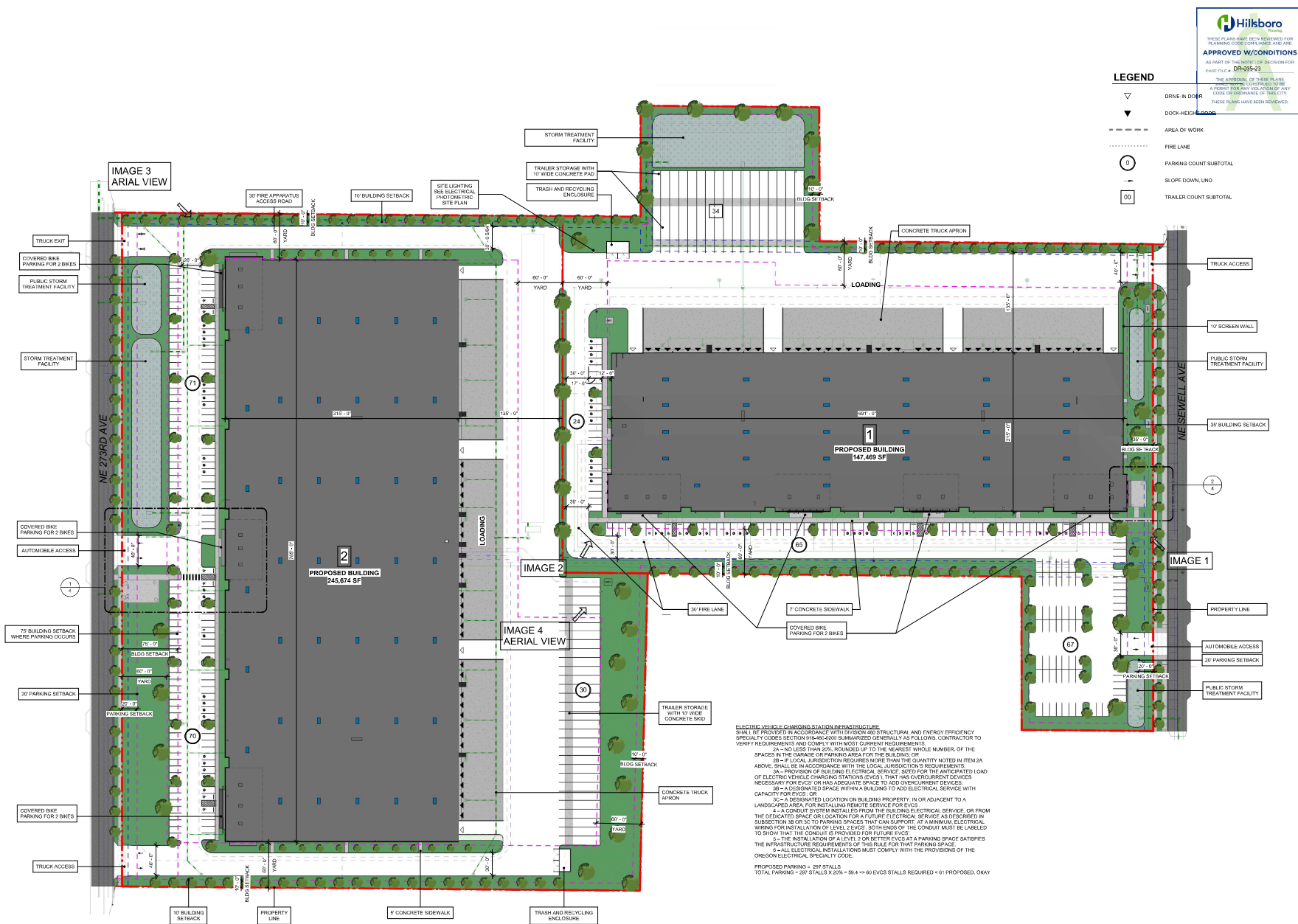
Key to Acronyms:

DR = Development Review

MOD = Modification

SUB = Subdivision

SNRP = Significant Natural Resource Plan



SITE PLAN_DR



1: PERSPECTIVE OF SOUTH EAST CORNER OF BUILDING 1 FROM SEWELL



2: PERSPECTIVE OF SOUTH WEST CORNER OF BUILDING 1 ENTRY



3: AERIAL PERSPECTIVE LOOKING SOUTH



4: AERIAL PERSPECTIVE OF SOUTH FACADE FO BUILDING 1

Client/ Owner:
**TRAMMELL
CROW
COMPANY**

1300 SW FIFTH
 AVENUE, SUITE 3350
 PORTLAND, OR 97201

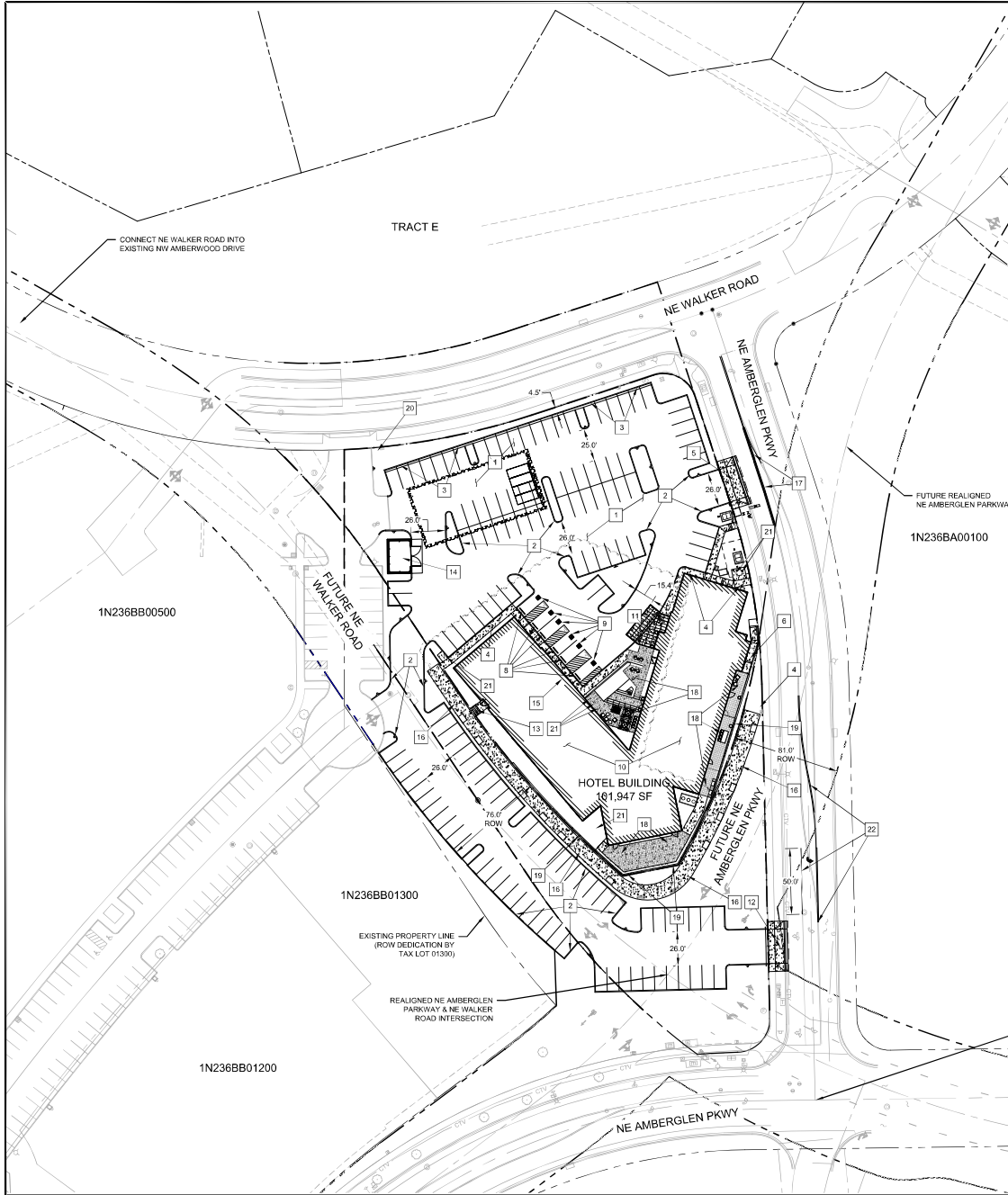
Project:
**SEWELL
CORPORATE
PARK -
HILLSBORO**

NE SEWELL AVE
 HILLSBORO OR, 97124

Sheet Title:
RENDERINGS

Revisions:
 # Description Date

MDG HAS USED ALL RIGHTS RESERVED
 THESE RENDERINGS ARE THE PROPERTY OF
 MDG AND ARE NOT TO BE USED OR
 REPRODUCED IN ANY MANNER WITHOUT THE
 WRITTEN PERMISSION OF MDG.
 Date: 10/03/2023
 Job Number: 122077
 Sheet



SITE INFORMATION

SITE INFORMATION:
SITE ADDRESS: NW COMPTON DR & NW AMBERGLEN PKWY
HILLSBORO, OR 97006

PROPERTY: 1N236B001100

SITE AREA: 1.748 ACRES
76,157 SF

BUILDING AREA: 20,630.28 SF (FOOTPRINT)
101,947 SF (5-STORY)

PARKING COUNT: 80 UNIVERSAL STALLS (8'x18' MIN. MAIN LOT)
6 ADA STALLS (8'x18', MAIN LOT)
62 UNIVERSAL STALLS (8'x10', AUXILIARY LOT)
148 TOTAL STALLS

LANDSCAPE AREA: 15% OF SITE AREA (11,424 SF REQUIRED)
18,787 SF PROVIDED (24.7%)

OPEN SPACE: 5% OF SITE AREA (3,808 SF)
5,744.00 SF PROVIDED (7.9%)

BICYCLE PARKING: 12 REQUIRED (1.25 SPACES/1,000 SF OF BUILDING)
14 SPACES PROVIDED

WASTE AREA: 552 SF @ 4 FT HEIGHT (VOL=2,208 CF) REQUIRED
(50 SF = 1,587,000 SF OF GFA REQUIRED)
393 SF PROVIDED @ 6 FT HEIGHT (VOL=2,358 CF) PROVIDED

PUBLIC UTILITY EASEMENT SHOWN ON PLAN ARE SUBJECT TO FINAL DESIGN FROM FRANCHISE UTILITY PROVIDERS

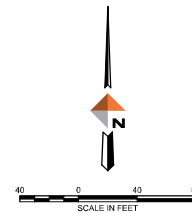
LEGEND

- PROPERTY LINE
- EXISTING CENTERLINE
- RIGHT OF WAY
- EXISTING SETBACK LINE
- EXISTING EASEMENT LINE
- EXISTING WATER LINE
- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- EXISTING ELECTRIC
- EXISTING TELEPHONE LINE
- EXISTING FIBER OPTIC LINE
- EXISTING COMMUNICATIONS LINE
- EXISTING GAS LINE
- EXISTING EDGE OF LANDSCAPE AREA
- EDGE OF CONCRETE
- BUILDING EDGE
- EASEMENT LINE
- CURB AND GUTTER
- PARKING LOT STRIPING
- EDGE OF CURB
- EXISTING MONUMENT
- EXISTING SANITARY SEWER MANHOLE
- EXISTING CATCH BASIN
- EXISTING CATCH BASIN - TRAPPED
- EXISTING CURB INLET
- EXISTING STORM MANHOLE
- EXISTING AREA DRAIN
- EXISTING FIRE HYDRANT
- EXISTING FIRE DEPARTMENT CONNECTION
- EXISTING WATER VAULT
- EXISTING WATER VALVE
- EXISTING WATER METER BOX
- EXISTING SPRINKLER VALVE
- EXISTING GROUND LIGHT
- EXISTING STREET LIGHT
- EXISTING SHOULDER BOX LIGHT
- EXISTING STREET LIGHT JUNCTION BOX
- EXISTING ELECTRICAL VAULT
- EXISTING TRANSFORMER
- EXISTING FIBER MANHOLE
- EXISTING TELEPHONE VAULT
- EXISTING TELEPHONE RISER
- EXISTING COMMUNICATIONS VAULT
- EXISTING HANDICAP PARKING STALL
- EXISTING SIGN
- EXISTING DECIDUOUS TREE
- EXISTING CONIFEROUS TREE
- EXISTING ASPHALT SURFACE
- EXISTING CONCRETE SURFACE
- CONCRETE SURFACE
- WATER VAULT
- FIRE DEPARTMENT CONNECTION
- WATER METER
- ADA PARKING SPACE PARKING

SITE CONSTRUCTION NOTES

- 1 PROPOSED ASPHALT PAVEMENT SECTION.
- 2 PROPOSED STANDARD CONCRETE CURB.
- 3 PROPOSED STANDARD CONCRETE CURB AND GUTTER.
- 4 PROPOSED CONCRETE SIDEWALK.
- 5 PROPOSED RIGHT-IN/RIGHT-OUT CONCRETE DRIVEWAY.
- 6 PROPOSED ADA RAMP.
- 7 PROPOSED PARKING LOT STRIPING.
- 8 PROPOSED CONCRETE PARKING STOP BAR.
- 9 PROPOSED ADA PARKING STALL, STRIPING, AND SIGNAGE. CONTRACTOR TO VERIFY GRADES DO NOT EXCEED 2% IN ANY DIRECTION.
- 10 PROPOSED HOTEL BUILDING.
- 11 PROPOSED HOTEL BUILDING OVERHANG.
- 12 PROPOSED EMERGENCY ACCESS ONLY DRIVEWAY.
- 13 PROPOSED STAIRS WITH HANDRAILS. SEE ARCHITECTURAL PLANS FOR STAIRS AND HANDRAIL DETAILS.
- 14 PROPOSED TRASH ENCLOSURE. SEE ARCHITECTURAL PLANS FOR ENCLOSURE DETAILS.
- 15 PROPOSED DOORWAY SIDEWALK AND SINGLE STEP.
- 16 PROPOSED PUBLIC SIDEWALK FOR FUTURE STREET.
- 17 PROPOSED CENTER LANE STANDARD COUNTY TRAFFIC SEPARATOR.
- 18 PROPOSED PLAZA SPACE. SEE LANDSCAPE PLANS FOR PLAZA DESIGN.
- 19 PROPOSED WALL WITH DECORATIVE FALL PROTECTION FENCE. SEE GRADING PLANS FOR ELEVATIONS.
- 20 PROPOSED MONUMENT SIGN. SEE ARCHITECTURAL PLANS FOR SIGN DETAILS.
- 21 PROPOSED BIKE PARKING AND CONCRETE PAD.
- 22 RE-STRIPING EXISTING LEFT TURN LANE ON NE COMPTON RD FOR ADDITIONAL TRAFFIC STORAGE.

OREGON UTILITY
NOTIFICATION CENTER
1-800-332-2344



REV	DATE	DESCRIPTION	BY



DAVID L. DOWL
309 SW 8th AVE. #700
Portland, Oregon 97204
877-280-3684

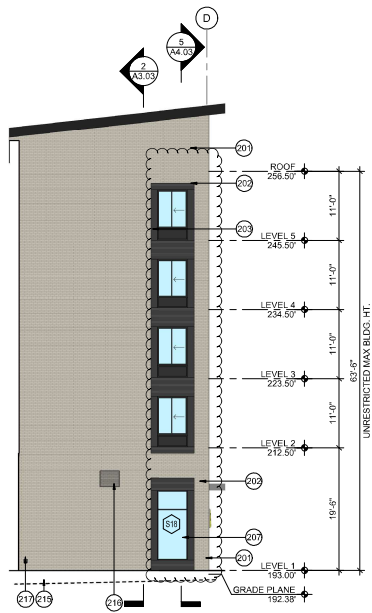


AMBERGLEN LOT 25A
1875 NE AMBERGLEN PARKWAY, HILLSBORO, OREGON
SITE PLAN

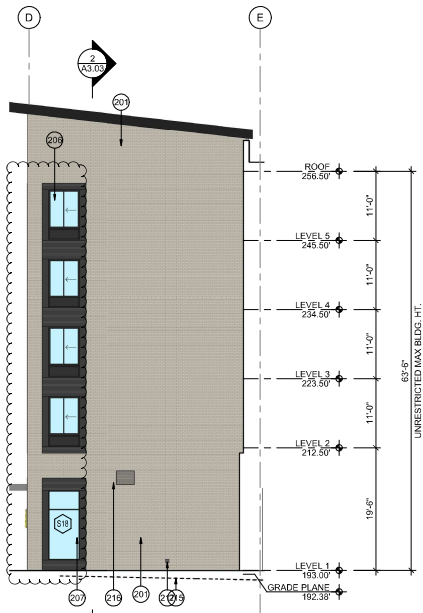
PROJECT 2322.14502
DATE 01/04/2024

03/01/2024
SHEET

C300



1 WEST COLOR ELEVATION - SOUTH WING
SCALE: 1/8" = 1'-0"



2 EAST COLOR ELEVATION - SOUTH WING
SCALE: 1/8" = 1'-0"

