



January 31, 2023

To: Planning Commission

From: Planning Division

RE: **Report of Administrative Review Land Use Applications**

The following report represents administrative review applications processed by the Planning Division staff for the months of December 2022 and January 2023.

Applications Approved by the Planning Division

File No.	Name/Description	Site	Applicant
DR-012-22 Approved on 12/19/2022 <i>Site Plan Attached</i>	Jollibee Restaurant Request for Development Review approval for the proposed construction of commercial drive through restaurant in the C-G zone.	1951 NW 185TH AVE; 1N225DD00100,	Preet Shergill RSI Group 714-609-7882
DR-047-22 Approved on 12/27/2022	Brookwood Sports Complex Request for Development Review approval to convert an existing warehouse into a community recreation center.	3085 NE BROOKWOOD PKWY; 1N228AC00100,	Jessica Lucas CIDA Architects and Engineers 503-226-1285
MOD-019-22 Approved on 12/13/2022	Tanasbourne Redevelopment Request for Modification approval to modify elevations, truck egress, trash enclosure and parking of a previously approved Development Review (DR-004-21) application.	10920 NE EVERGREEN PKWY; 1N130CC01100,	Jennifer Rinkus Baysinger Partners Architecture 503-546-1623
MOD-021-22 Approved on 12/9/2022 <i>Site Plan Attached</i>	Reed's Crossing Greenway Modification to Condition No. 19 of approved Case File No. DR-023-17 for the Reed's Crossing Greenway	No Applicable Address; 1S2110002400,	Maggie Gordon AKS Engineering & Forestry, LLC 5035636151

If you have any questions regarding this report, please contact Chris Barry at (503) 681-6179.

Key to Acronyms:

DR = Development Review

MOD = Modification

SUB = Subdivision

SNRP = Significant Natural Resource Plan



JOLLIBEE OR, TANASBOURNE
1951 NW 185TH HILLSBORO
TANASBOURNE, OR 97124
DEVELOPMENT REVIEW



JOLLIBEE PROJECT NUMBER: 1-11278
CDA PROJECT NUMBER: 21-12004

ISSUANCE / REVISIONS	
Δ	DEVELOPMENT REVIEW 02.18.2021
Δ	DEVELOPMENT REVIEW 07.07.2021

DRAWN BY: CM/MM CHECKED BY: MDW

SITE PLAN

SHEET:

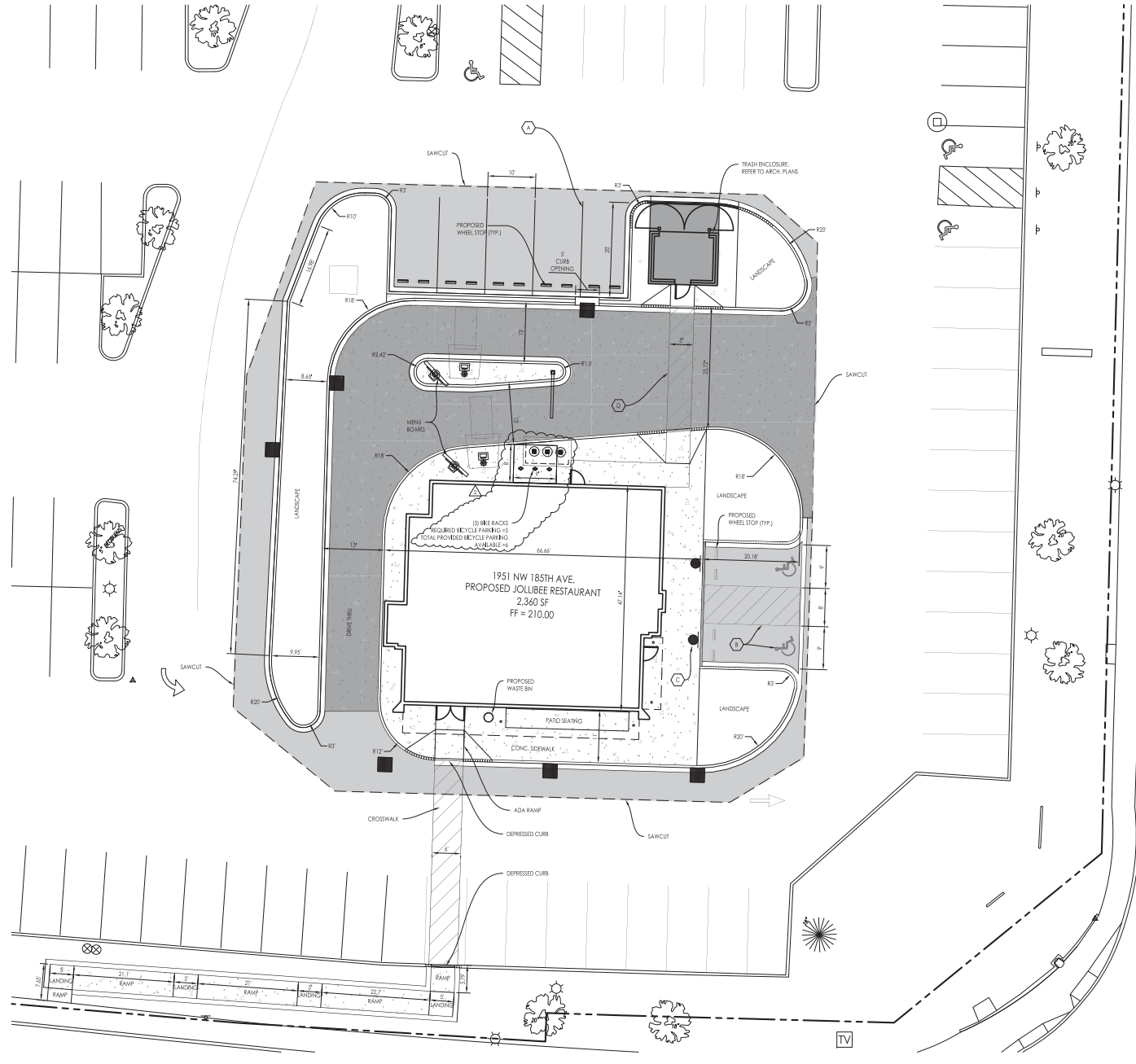
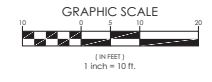
C2.0

NOTES:

- ALL DIMENSIONS ALONG CURB LINES ARE TO BACK OF CURB, UNLESS NOTED OTHERWISE.
 - BUILDINGS AND ADJACENT TO BUILDING IMPROVEMENTS SHOWN ON THESE PLANS ARE BASED UPON THE SUBMITTAL PLANS PROVIDED BY OTHERS AT THE DATE OF THESE PLANS BEING PREPARED. BUILDING PLANS NORMALLY CONTINUE TO CHANGE AFTER THE PLANS HAVE BEEN APPROVED. THEREFORE THE CONTRACTOR SHALL USE THE BUILDING PLANS FOR FINAL BUILDING IMPROVEMENTS, AND VERIFY THAT ALL ADJACENT IMPROVEMENTS ARE CONSISTENT WITH THE DESIGN INTENT AND REQUIREMENTS OF THE SUBMITTAL PLANS. THE CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF CLARIFICATIONS ARE NEEDED, OR IF CONFLICTS OR INCONCURRENCES ARE DETECTED.
 - ADA DETECTIBLE WARNING STRIPS SHALL BE CAST IN PLACE, SET INTO CONCRETE SURFACE, PER MANUFACTURER'S INSTALLATION RECOMMENDATIONS.
 - TOPOGRAPHIC AND BOUNDARY SURVEY PREPARED BY SWANEE LAND SURVEYORS.
- ⊗ SIGNING AND STRIPING SCHEDULE
- 4" YELLOW STRIPING
 - YELLOW HANDBRAKE PARKING STRIPING (SEE DETAIL)
 - ACCESSIBLE PARKING STALL SIGN ASSEMBLY (2000 FH) (SEE DETAIL)
 - 4" PAINTED CROSS STRIPING & C-C
- STRIPING NOTE: CHALK PAVEMENT MARKINGS AND GRAPHICS SHALL CONSIST OF TWO (2) COATS OF TRAFFIC-RATED PAINT APPLIED A MINIMUM OF 30 DAYS APART.

LEGEND:

- ADA TRUNCATED DOMES
- DRINKING CURB AND GUTTER
- DRINKING CURB AND GUTTER - DEPRESSION
- 8.12 CURB AND GUTTER - UNLESS NOTED OTHERWISE
- 8.12 CURB AND GUTTER - DEPRESSION
- 8.12 CURB AND GUTTER - TRANSITION (ZERO TO FULL HEIGHT)
- BARRIER CURB AND GUTTER - UNLESS NOTED OTHERWISE
- BARRIER CURB AND GUTTER - DEPRESSION
- 8.12 CURB AND GUTTER - TRANSITION (ZERO TO FULL HEIGHT)
- SAWCUT LINE
- PROPOSED FULL-DEPTH REGULAR ASPHALT PAVEMENT
- PROPOSED FULL-DEPTH CONCRETE PAVEMENT
- PROPOSED CONCRETE SIDEWALK (SEE DETAIL SHEET C2.1)



User: orlandu@rtm.com File: J:\2021\131\CHP\C2.0 - Jollibee.tnasboorne 28\07\2021\DRAWINGS\SUB-SUBMITTED\21\CHP\C2.0_SHE.dwg Time: 11/07/2022 8:30pm

NOT FOR CONSTRUCTION

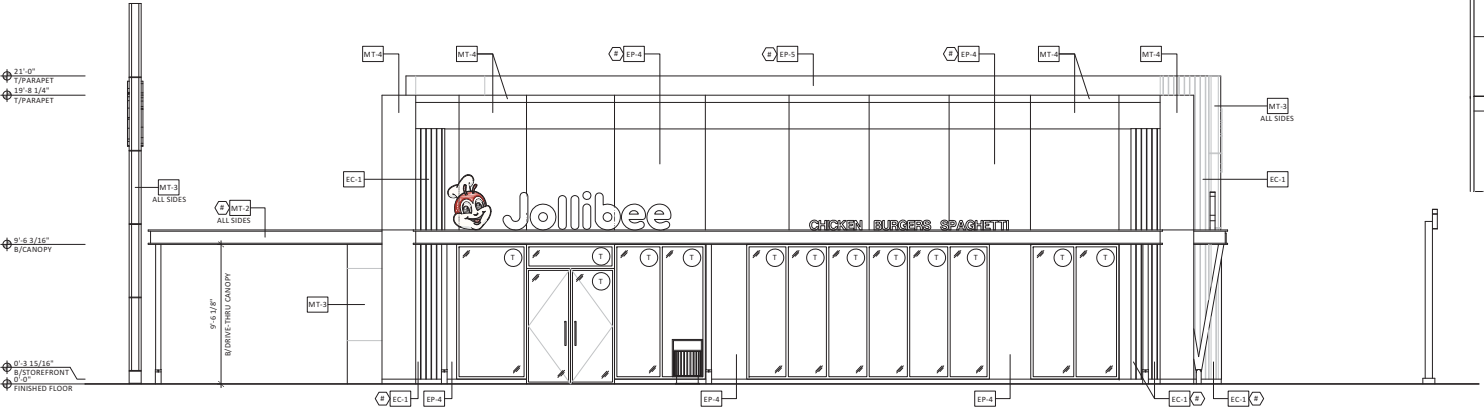
GENERAL NOTES

- DO NOT SCALE DRAWINGS. DIMENSIONS ARE FOR CONSTRUCTION REFERENCE. ALL DIMENSIONS SHOULD BE FIELD VERIFIED AT TIME OF BID AND PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHOULD BE REPORTED IMMEDIATELY TO ARCHITECT.
- INSTALL CONTINUOUS SEALANT BEAD BETWEEN ALL UNLIKE MATERIALS.
- PROVIDE SAFETY GLAZING AT DOORS, TRANSOM, SIDELITES, AND GLAZING 2'-0" ABOVE FIN GRADE. WINDOWS AND DOORS TO BE LABELED CONFORMING TO AAMA/NWDA 105/1.5.2.
- EXTERIOR SIGNS ARE SHOWN FOR REFERENCE AND ARE OMITTED FROM THE BUILDING PERMIT. A SEPARATE PERMIT MUST BE OBTAINED FOR ALL EXTERIOR SIGNAGE.
- CONTRACTOR MUST SUBMIT FOR REVIEW ALL EXTERIOR MATERIALS OF BUILDING TO ARCHITECT FOR APPROVAL PRIOR TO ORDERING.
- ALL WOOD BLOCKING USED IS TO BE FIRE-TREATED.
- CONTRACTOR SHALL MAKE ANY NECESSARY REPAIRS TO THE LANDLORD PROVIDED EXTERIOR FINISHES TO ENSURE LIKE NEW CONDITION AT GRAND OPENING. CONTRACTOR SHALL DOCUMENT AND NOTIFY CONSTRUCTION MANAGER OF ANY DAMAGE PRIOR TO PERFORMING ANY WORK.

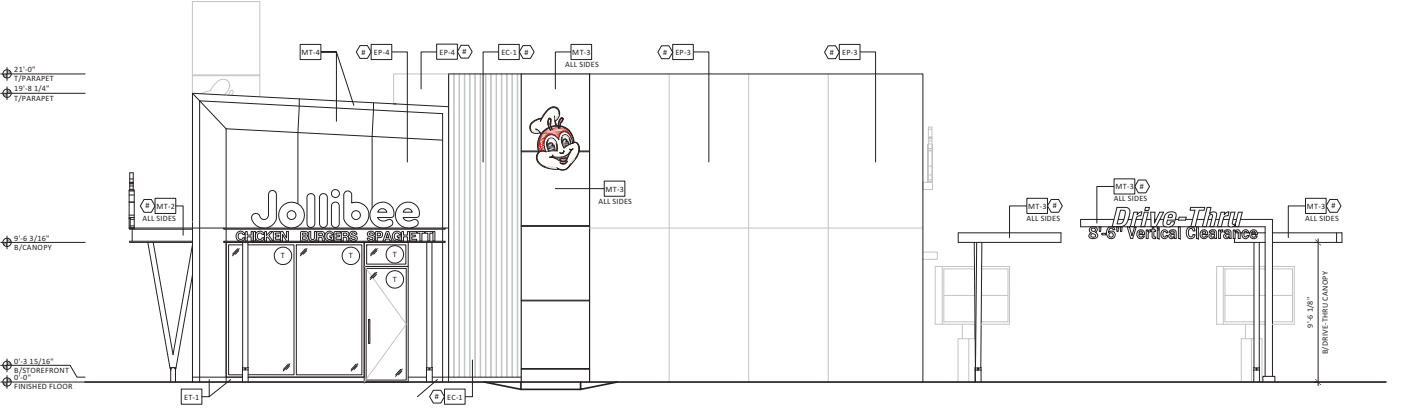
KEY NOTES

EXTERIOR FINISH SCHEDULE

PAINT	
EP-3	MANUFACTURER: DUNN EDWARDS COLOR: BONE VALLEY SERIES/MFG#: SEMI GLOSS FINISH FINISH: PAINTED STUCCO CONTACT:
EP-4	MANUFACTURER: DUNN EDWARDS COLOR: GRAY PEARL SERIES/MFG#: DEC795 FINISH: SANTA BARBARA FINISH BY PLASTER TEXTURES REMARK: (ALTERNATIVE) BENJAMIN MOORE: SMOKE EMBERS 1466 EXTERIOR WALL SWIM COAT
EP-5	MANUFACTURER: DUNN EDWARDS COLOR: BLACK TIE SERIES/MFG#: DEAB357 FINISH: SEMI GLOSS FINISH REMARK: (ALTERNATIVE) SHERWIN WILLIAMS: CAVIAR SW6990 CONTACT:
METAL	
MT-3	MANUFACTURER: ALPOLIC COLOR: TOR RED SERIES/MFG#: 4-TOR-70 FINISH: 62"x132" - 20 GA APPLICATION: OCTAVIO DIAZ - 281.541.4258 - octavio@alpolic.com CONTACT:
MT-4	MANUFACTURER: ALPOLIC COLOR: CMX METALLIC CHAMPAGNE SERIES/MFG#: 4-CMX-30 FINISH: 62"x196" - 20 GA APPLICATION: OCTAVIO DIAZ - 281.541.4258 - octavio@alpolic.com CONTACT:
CLADDING	
EC-1	MANUFACTURER: NICHIA COLOR: VINTAGE WOOD CEDAR EPC762F SERIES/MFG#: EXTERIOR CLADDING FINISH: EXTERIOR CLADDING APPLICATION: EXTERIOR CLADDING CONTACT:



2 EXTERIOR ELEVATION - NORTH
SCALE: 1/4" = 1'-0"



1 EXTERIOR ELEVATION - WEST
SCALE: 1/4" = 1'-0"

Jollibee

JOLLIBEE OR, TANASBOURNE
1951 NW 185TH HILLSBORO
TANASBOURNE, OR 97124
DEVELOPMENT REVIEW



JOLLIBEE PROJECT NUMBER:
1-11278

CDA PROJECT NUMBER:
21-12004

ISSUANCE/REVISIONS

NO.	DESCRIPTION	DATE
1	DEVELOPMENT REVIEW	02.18.2022

DRAWN BY: ID MA CHECKED BY: ID DP

EXTERIOR ELEVATIONS

SHEET:
A-300

GENERAL NOTES

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KEY NOTES

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CLADDING	
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1951 NW 185TH HILLSBORO
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DEVELOPMENT REVIEW

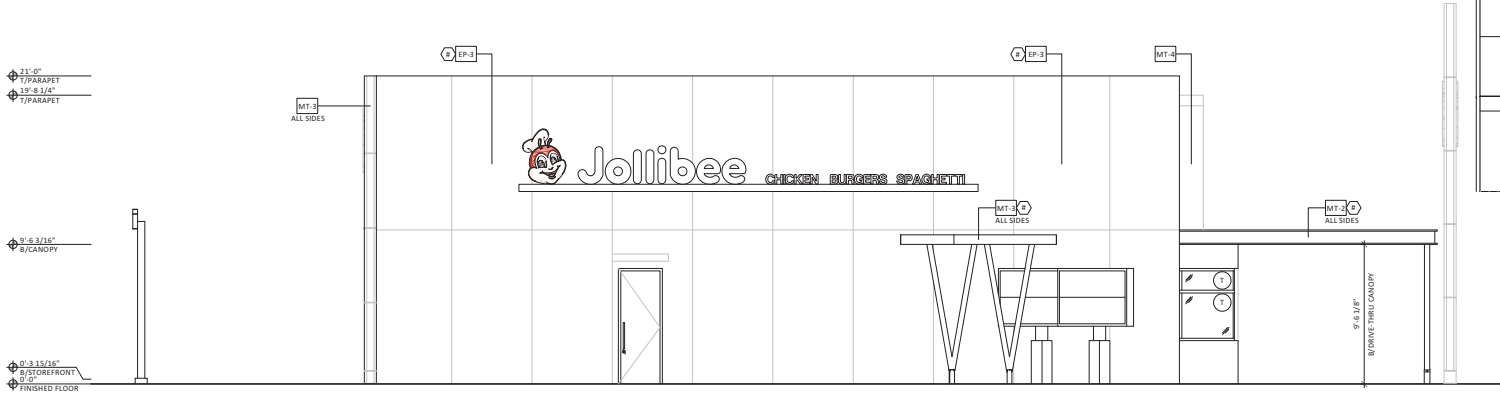


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ISSUANCE/REVISIONS
1 DEVELOPMENT REVIEW 02.18.2022

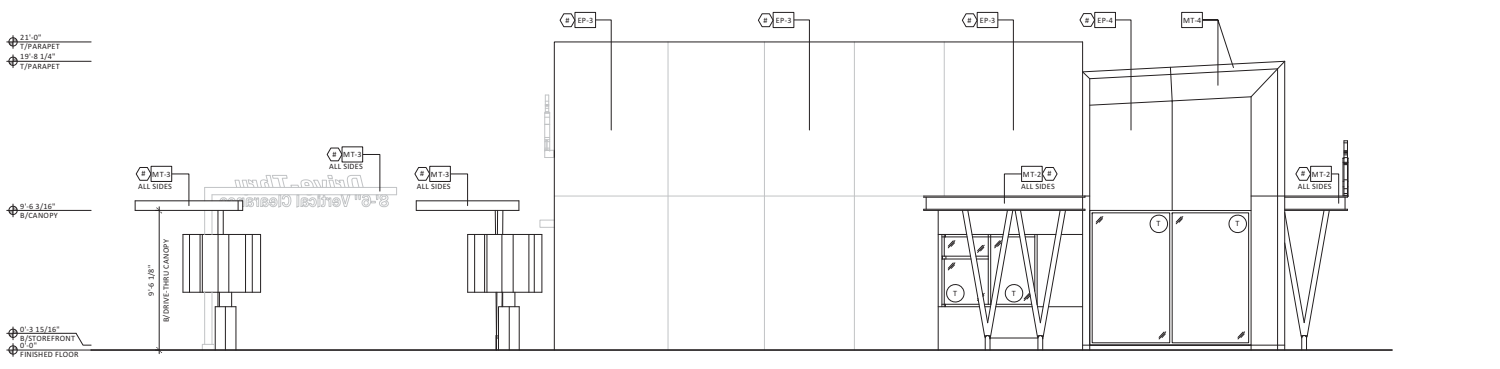
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EXTERIOR ELEVATIONS

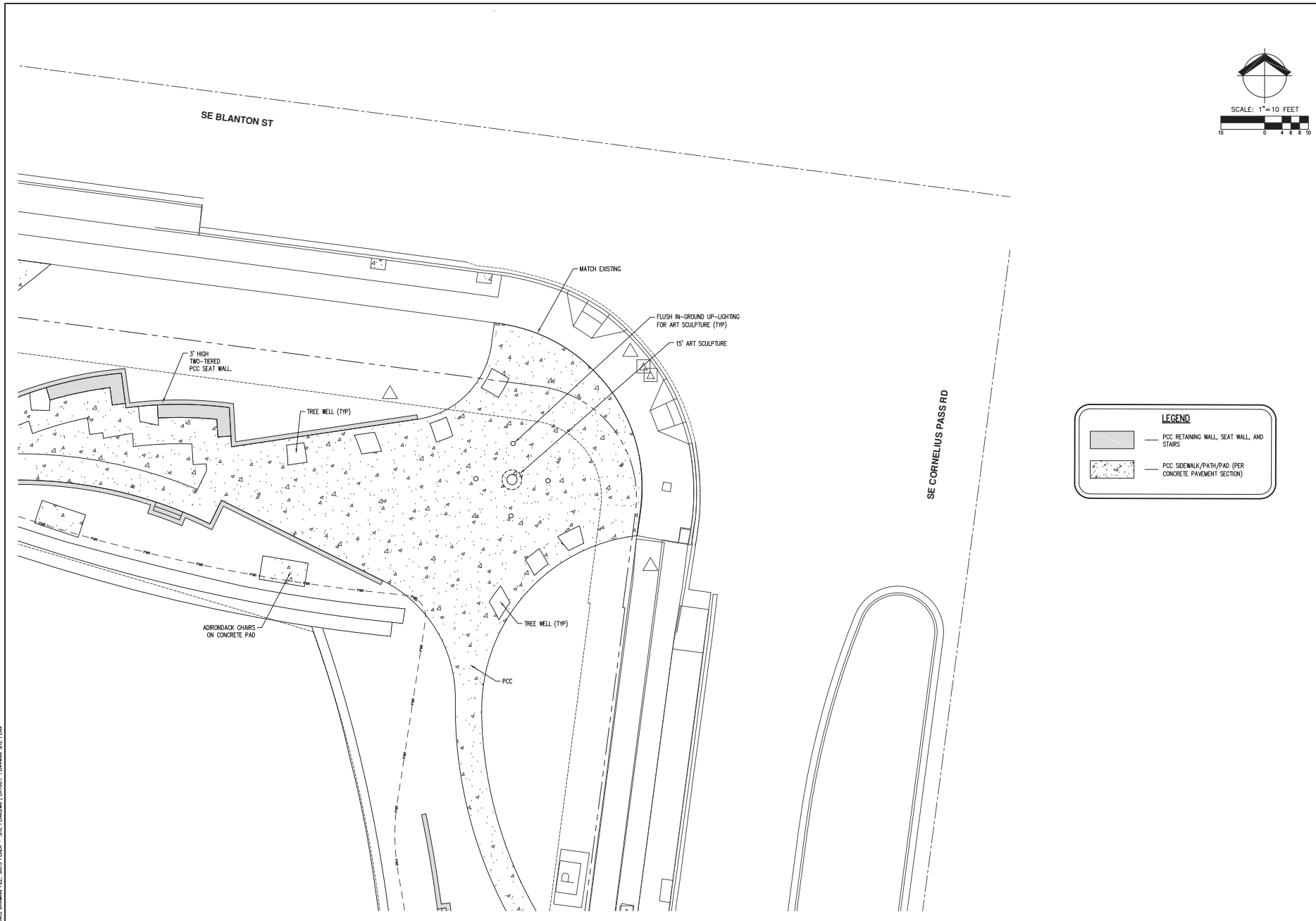
SHEET:
A-301



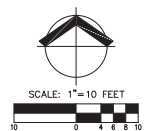
2 EXTERIOR ELEVATION - SOUTH
A-301 SCALE: 1/4" = 1'-0"



1 EXTERIOR ELEVATION - EAST
A-301 SCALE: 1/4" = 1'-0"



AKS DRAWING FILE: 6875 PLAZA - SITE PLANNING LAYOUT PLANNING SITE PLAN



LEGEND

- PCC RETAINING WALL, SEAT WALL, AND STAIRS
- PCC SIDEWALK/PATH/PAD (PER CONCRETE PAVEMENT SECTION)

AKS
 AKS ENGINEERING & FORESTRY, LLC
 12965 SW HERMAN RD, STE 100
 HILLSBORO, OR 97122
 503.233.4351
 WWW.AKS-ENG.COM
 ENGINEERING - SURVEYING - NATURAL RESOURCES
 FORESTRY - PLANNING - LANDSCAPE ARCHITECTURE

REED'S CROSSING
 REED'S CROSSING PHASE 1A PLAZA
 COH CASE FILE OF DR-023-17
OREGON
 HILLSBORO
 WASHINGTON COUNTY ASSESSOR'S TAX MAP IS 2.11
 TAX LOT 1900

SITE PLAN

DESIGNED BY: MTS
 DRAWN BY: PRK
 MANAGED BY: MTS
 CHECKED BY: AHH
 DATE: 09/30/2022

**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

REVISIONS

JOB NUMBER
6875

SHEET
C100

