



March 29, 2023

To: Planning Commission

From: Planning Division

RE: **Report of Administrative Review Land Use Applications**

The following report represents administrative review applications processed by the Planning Division staff for the month of March 2023.

Applications Approved by the Planning Division

File No.	Name/Description	Site	Applicant
DR-005-23 Approved on 3/20/2023 <i>Site Plan Attached</i>	Westbrooke Estates Development Review for a 3-story townhome development, approved under Case File No. PUD-005-21.	3370 SE BROOKWOOD AVE; 1S210CB00900, 1S210CB01000 1S210CB01100	Maggie Gordon AKS Engineering & Forestry, LLC 5035636151
ELD-001-23 Approved on 3/27/2023 <i>Site Plan Attached</i>	Mannam Two-lot ELD to allow future development of four rowhouses located on a site approximately 0.62 acres in size, zoned R-10.	1722 NE JACKSON SCHOOL RD; 1N230DC03302,	Ryan O'Brien Planning & Land Design, LLC 5037804061
MOD-003-23 Approved on 3/8/2023	Tanasbourne Trash Enclosure Request for modification to a previously approved Development Review (DR-024-95) to remove two existing trash enclosures and expand the third to between the two lots.	263 E MAIN ST; 1N130CC01500, 1N130CC01400	Jennifer Rinkus Baysinger Partners Architecture 503-546-1623

If you have any questions regarding this report, please contact Chris Barry at (503) 681-6179.

Key to Acronyms:

DR = Development Review

MOD = Modification

SUB = Subdivision

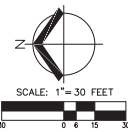
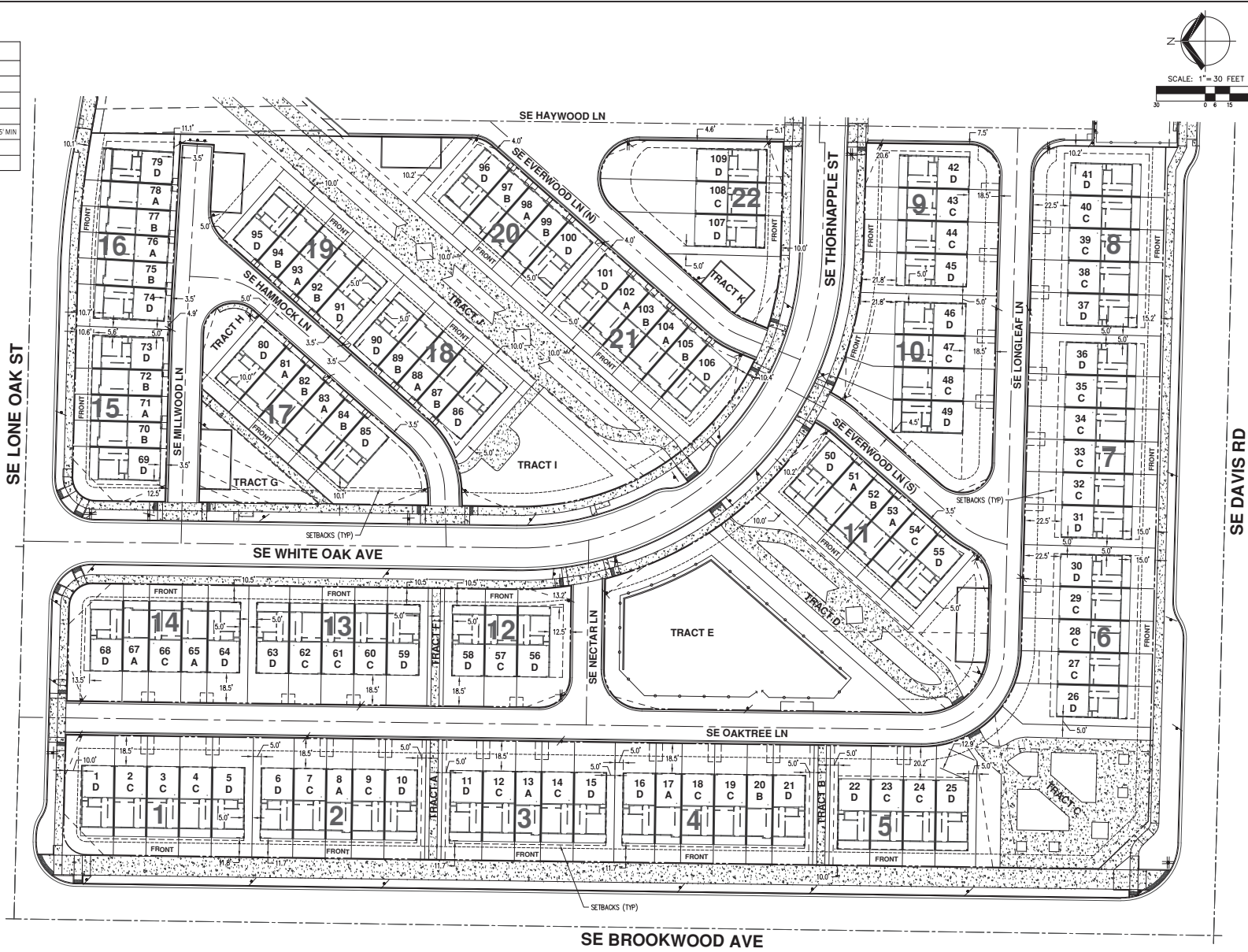
SNRP = Significant Natural Resource Plan

PHASE 2 TOWNHOME LOT AREA
±165,475 SF = ±3.80 ACRES

TOWNHOME ALLEY LOADED SETBACKS	
FRONT YARD TO STRUCTURE	10'
STREET SIDE YARD	10'
ALLEY SIDE YARD	4.5'
INTERIOR SIDE YARD	5'
REAR YARD TO GARAGE	4.5' MAX OR 18.5' MIN
REAR YARD TO STRUCTURE W/ 4.5' MAX TO GARAGE	4.5' MAX
REAR YARD TO STRUCTURE W/ 18.5' MIN TO GARAGE	10'

BUILDING #	LOT #	ELEVATION
01	001-005	NW
02, 03	006-015	FARM
04	016-021	MODERN
05	022-025	FARM
06	026-030	NW
07	031-036	MODERN
08	037-041	NW
09, 10	042-049	FARM
11	050-055	MODERN
12, 13	056-063	NW
14	064-068	MODERN
15	069-073	FARM
16, 17	074-085	MODERN
18, 19, 20	086-100	FARM
21	101-106	MODERN
22	107-109	NW

- *UNIT NAMING
 A - 16' WIDE, MIDDLE KITCHEN
 B - 16' WIDE, REAR KITCHEN
 C - 20' WIDE INTERIOR UNIT
 D - 20' WIDE END UNIT

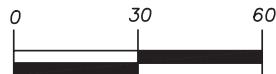
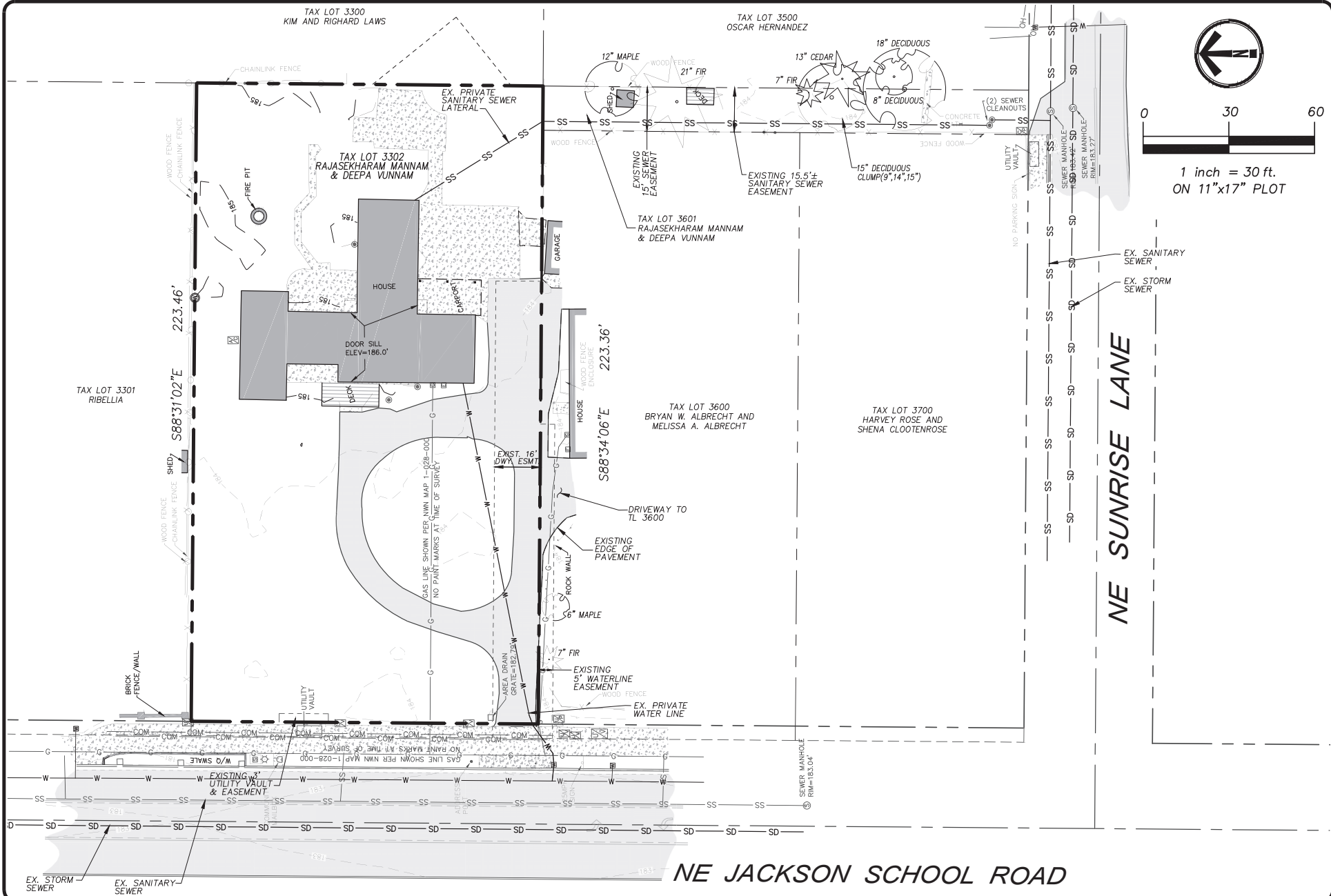


WESTBROOKE ESTATES
SUBDIVISION
 HILLSBORO
 OREGON

OVERALL SITE PLAN

DESIGNED BY: CRH
 DRAWN BY: CRH
 MANAGED BY: MTS
 CHECKED BY:
 DATE: 01/25/2023

REVISIONS
 JOB NUMBER
5054
 SHEET
P



1 inch = 30 ft.
ON 11"x17" PLOT

NE SUNRISE LANE

NE JACKSON SCHOOL ROAD

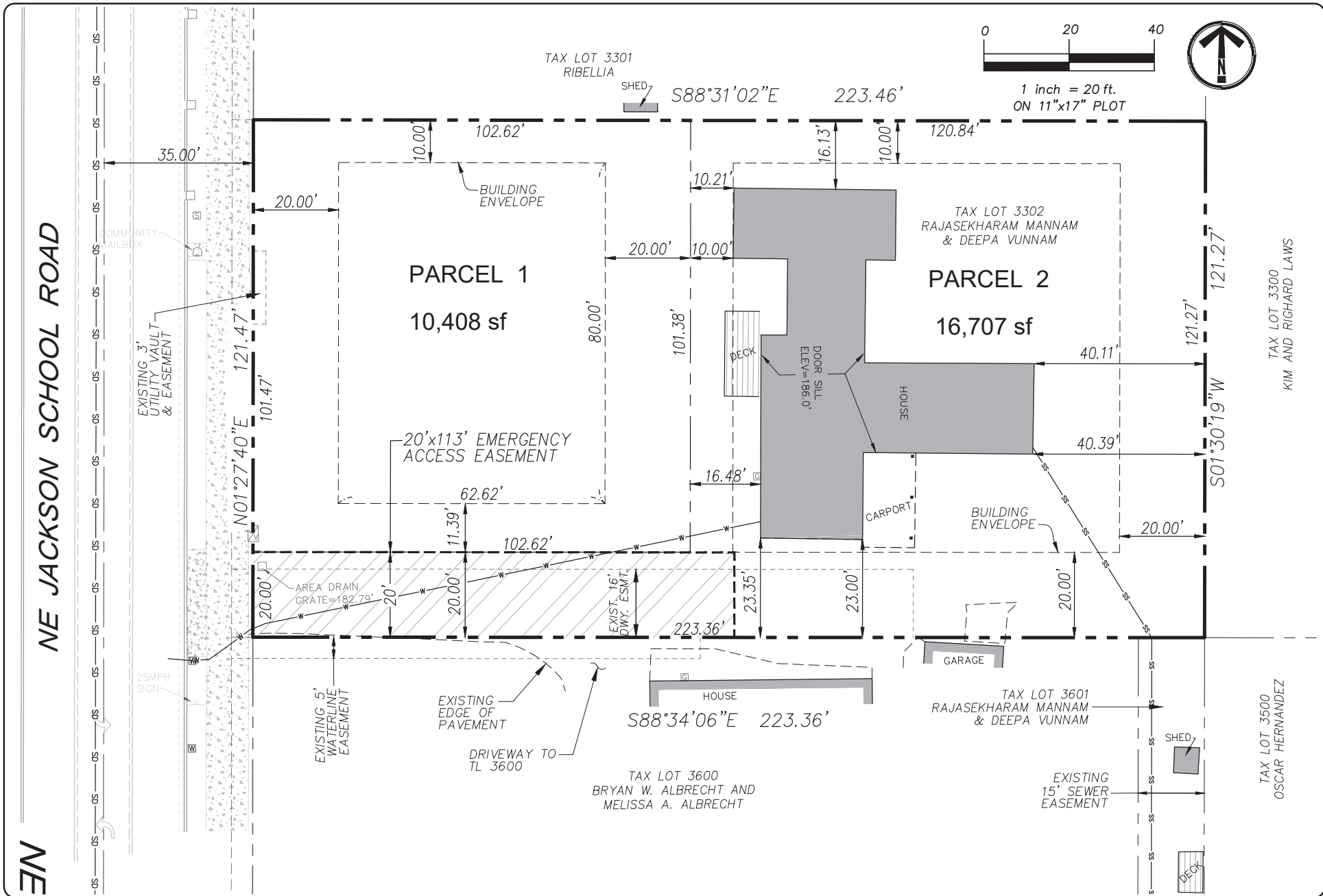
OWNER: RAJA MANNAM
CELL: (503) 209-7055
TAX MAP 1-02-300C, TL 3302 & 3601
1722 NE JACKSON SCHOOL ROAD,
HILLSBORO, OR 97124

JACKSON SCHOOL ROAD ROWHOUSES
MINOR LOT PARTITION
EXISTING CONDITIONS
FEBRUARY 2, 2023

REV. NO.	DATE	DESCRIPTION

PLANNING & LAND DESIGN
1862 NE ESTATE DRIVE
HILLSBORO, OREGON 97124
RYAN O'BRIEN
(503) 780-4061

SHEET
2
OF
3



OWNER: RAJA MANNAM
CELL: (503)209-7055
TAX MAP 142-30DC, TL 3302 & 3601
1722 NE JACKSON SCHOOL ROAD,
HILLSBORO, OR 97124

RAJA MANNAM & DEEPA VUNNAM
MINOR LOT PARTITION
PROPOSED PARTITION
FEBRUARY 2, 2023

NO.	DATE	REVISIONS	DESCRIPTION

PLANNING & LAND DESIGN
1882 NE ESTATE DRIVE
HILLSBORO, OREGON 97124
RYAN O'BRIEN
(503)780-4061

SHEET
3
OF
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