



April 27, 2023

To: Planning Commission

From: Planning Division

RE: **Report of Administrative Review Land Use Applications**

The following report represents administrative review applications processed by the Planning Division staff for the month of April 2023.

**Applications Approved by the Planning Division**

File No.	Name/Description	Site	Applicant
<b>DR-052-22</b>  Approved on 4/14/2023 <i>Site Plan Attached</i>	<b>Bennett Duplex</b> Request for Development Review approval for the construction of a new duplex located in the SCR-HD zone. Existing duplex to remain.	290 SE 15TH AVE;  1N232CC03109,	Richard Adams Faster Permits 503-880-4979
<b>DR-058-22</b>  Approved on 4/10/2023	<b>Highway Heavy Hauling Transport &amp; Storage Yard</b> Development Review approval for the proposed construction of a 3,900 square foot maintenance shop building and 23,500 outdoor gravel storage area for heavy vehicle equipment and associated site improvements located in the I-G zone.	24220 SW TUALATIN VALLEY HWY;  1S210CB00300, 1S210BC14100	Maggie Gordon AKS Engineering & Forestry, LLC 5035636151
<b>MOD-004-23</b>  Approved on 4/12/2023  <i>Site Plan Attached</i>	<b>Reed's Crossing Town Center South Gramor</b> Minor modifications to elevations on all nine building and site plan revisions for transformer placement and landscaping approved under Case File No. DR-009-22 located within the Reed's Crossing Town Center South PUD, zoned PUD: MU-VTC.	3495 SE CORNELIUS PASS RD;  1S211CD03700,	Ken sandblast Westlake Consultants 5036840652

<b>MOD-005-23</b>  Approved on 4/14/2023	<b>City View Charter School</b> Request for Modification to a previously approved PUD (PUD-001-92).	1920 NE STUCKI AVE STE 200;  1N236BA00200,	Becky Schiefelbein City View Charter School 503-481-9727
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If you have any questions regarding this report, please contact Chris Barry at (503) 681-6179.

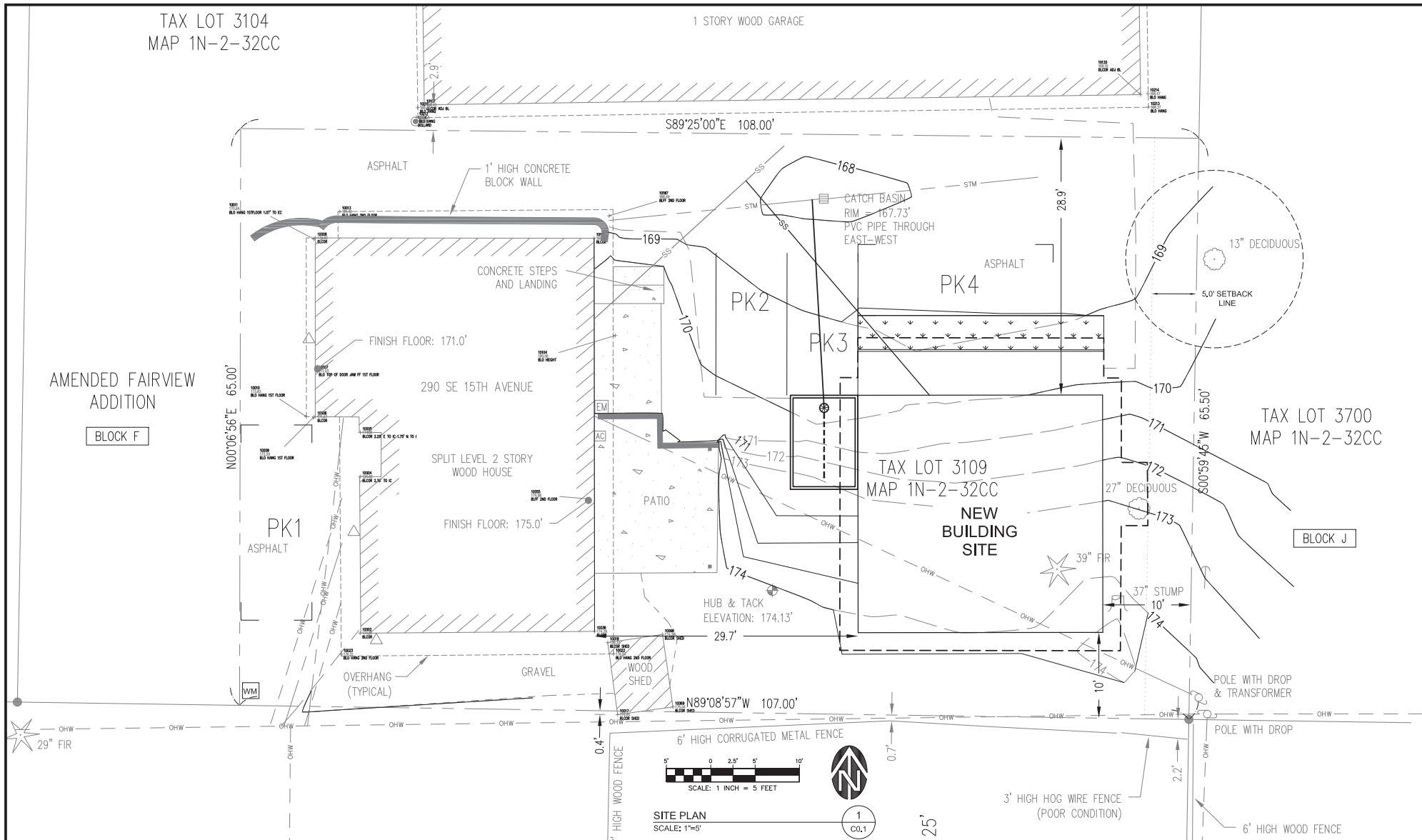
**Key to Acronyms:**

DR = Development Review

MOD = Modification

SUB = Subdivision

SNRP = Significant Natural Resource Plan



**PIETROK ENGINEERING AND RESOURCES LLC**  
 16539 NW SPRINGVILLE ROAD  
 PORTLAND, OR 97229  
 PH: 503-793-3469

FILE: 117-00  
 DATE: 11/04/22  
 DESIGNER: NDP  
 DRAFTER: NDP  
 REVIEWER: RW

290 SE 15TH AVENUE  
 HILLSBORO, OREGON 97123

290 SE 15TH AVENUE  
 HILLSBORO, OREGON

**NEW DUPLEX  
 SITE PLAN**

No.	REVISION	DATE	BY

SHEET OF 6 2  
 DRAWING NUMBER C0.1



BENNETT DUPLEX  
ELEVATIONS

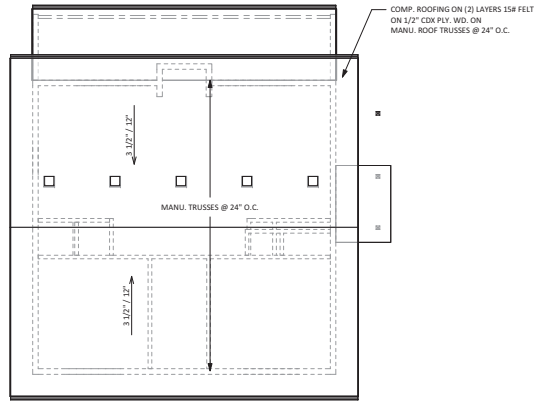
No.	Date	Issued by

Project number: 11889  
 Date: 8/30/2022 10:34:07 AM  
 Drawn by: BSY  
 Area: 745 S.F. / UNIT  
 Scale: As Indicated

COMP. ROOFING ON (2) LAYERS 15# FELT ON 3/2" CDX PLY. W/O. ON MANU. ROOF TRUSSES @ 24" O.C.
ROOF VENTS
S.M. GUTTERS
LINE OF WALLS BELOW

ATTIC VENTILATION REQUIRED: THE ATTIC AREA MUST BE 1/300 OF THE AREA OF THE SPACE VENTILATED (1/250 MUST BE USED IF NO VENTED EAVE BLOCKS OR INTAKE AIR IS SUPPLIED)  
 - ATTIC SPACE IS 684 S.F. ATTIC AREA  
 - ATTIC VENTS MUST PROVIDE MIN. 60 SQ. IN. (0.415 S.F.)  
 -  $684 / 300 = 2.28 (2) = 1.14 / .415 = 4$  ATTIC VENTS REQUIRED  
 - .348 S.F. PER EAVE BLOCK PROVIDED -  $1.14 / .348 = 4$  EAVE BLOCKS REQUIRED

	4-VENT BLOCK (4) 2" DIA. HOLES (12.6 SQ. IN. EACH)		ROOF PLAN LEGEND 1/4" = 1'-0"
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5 ROOF PLAN  
1 3/16" = 1'-0"

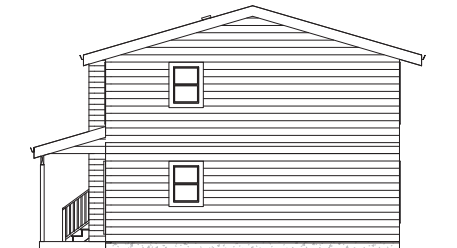


3 NORTH  
1 1/4" = 1'-0"

SOUTH WALL OPENING AREA CALCULATION  
 FACADE WALL AREA = 456 S.F.  
 OPENING AREA = 100 S.F.  
 OPENING PERCENTAGE = 20.1%



1 SOUTH  
1 3/16" = 1'-0"



4 WEST  
1 3/16" = 1'-0"



2 EAST  
1 3/16" = 1'-0"





APPROVED SITE PLAN DR-009-22



CANOPY EXTENSION FOR EMPLOYEES AT THIS CORNER ENTRANCE

ADDED JOGS IN BUILDING ELEVATION

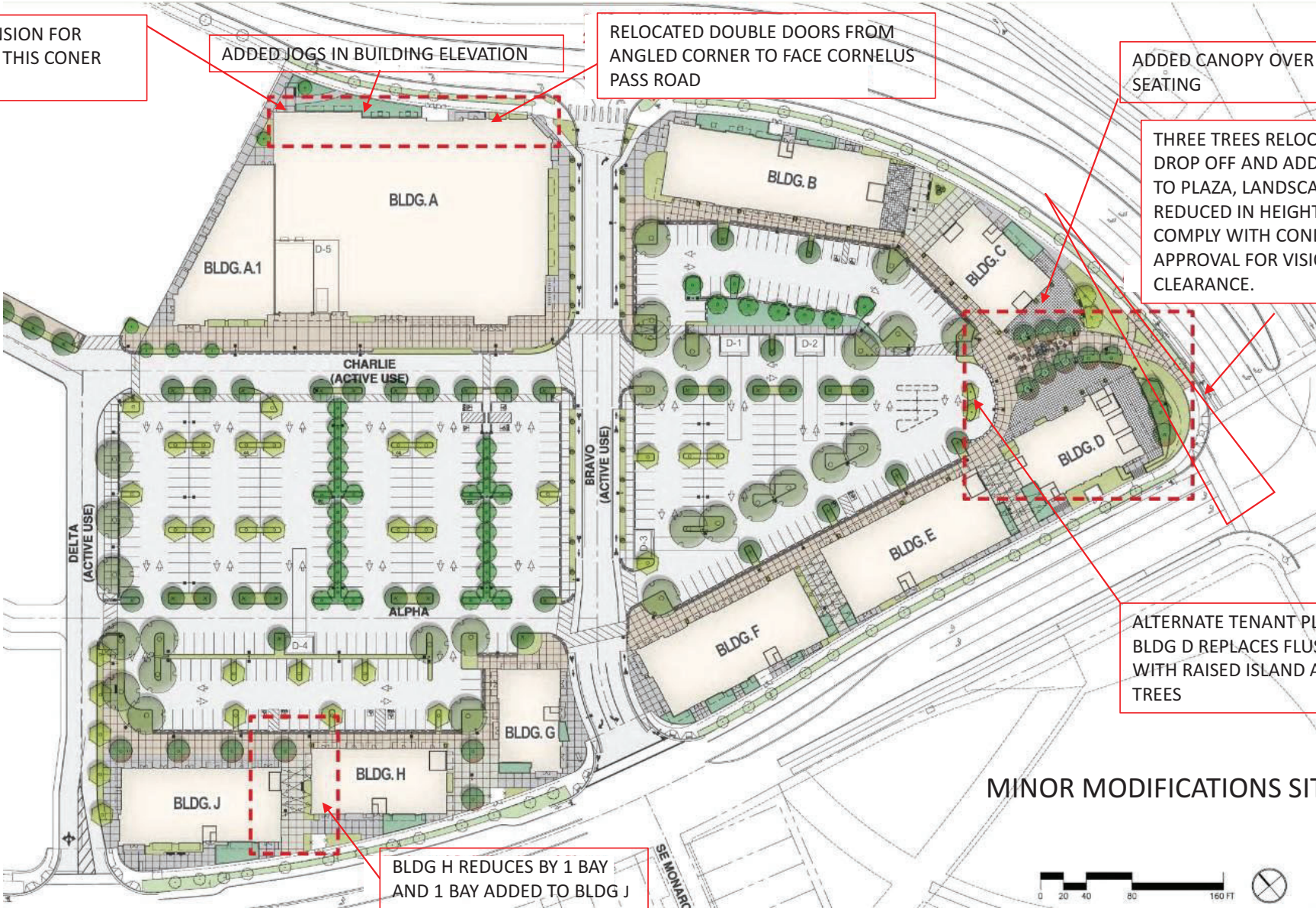
RELOCATED DOUBLE DOORS FROM ANGLED CORNER TO FACE CORNELIUS PASS ROAD

ADDED CANOPY OVER OUTSIDE SEATING

THREE TREES RELOCATED FROM DROP OFF AND ADDED TREES TO PLAZA, LANDSCAPING REDUCED IN HEIGHT TO COMPLY WITH CONDITIONS OF APPROVAL FOR VISION CLEARANCE.

ALTERNATE TENANT PLAN IN BLDG D REPLACES FLUSH ISLAND WITH RAISED ISLAND AND 2 TREES

BLDG H REDUCES BY 1 BAY AND 1 BAY ADDED TO BLDG J



MINOR MODIFICATIONS SITE PLAN







PREVIOUS APPROVAL



PROPOSED MODIFICATIONS

**HANSEN**  
ARCHITECTURE

HANSEN ARCHITECTURE II  
2311 N 45th Street  
Suite 256  
Seattle, WA 98103

COFFMAN ENGINEERING  
Civil, Structural, MEP  
1101 2nd Ave.  
Suite 400  
Seattle, WA 98101

SERA LANDSCAPE ARCHITECTURE  
Landscape  
338 NW 5th Ave.  
Portland, OR 97209

**GRAMOR**  
DEVELOPMENT

OWNER  
REEDS Crossing  
Town Center LLC  
  
19767 SW 72nd Ave  
#100  
Tualatin, OR 97062

PROJECT  
REEDS Crossing Town Center  
Design Review Package

DRAWN BY  
SG | MB

ISSUE  
10.23.21

RE-ISSUE  
01.11.23

SHEET

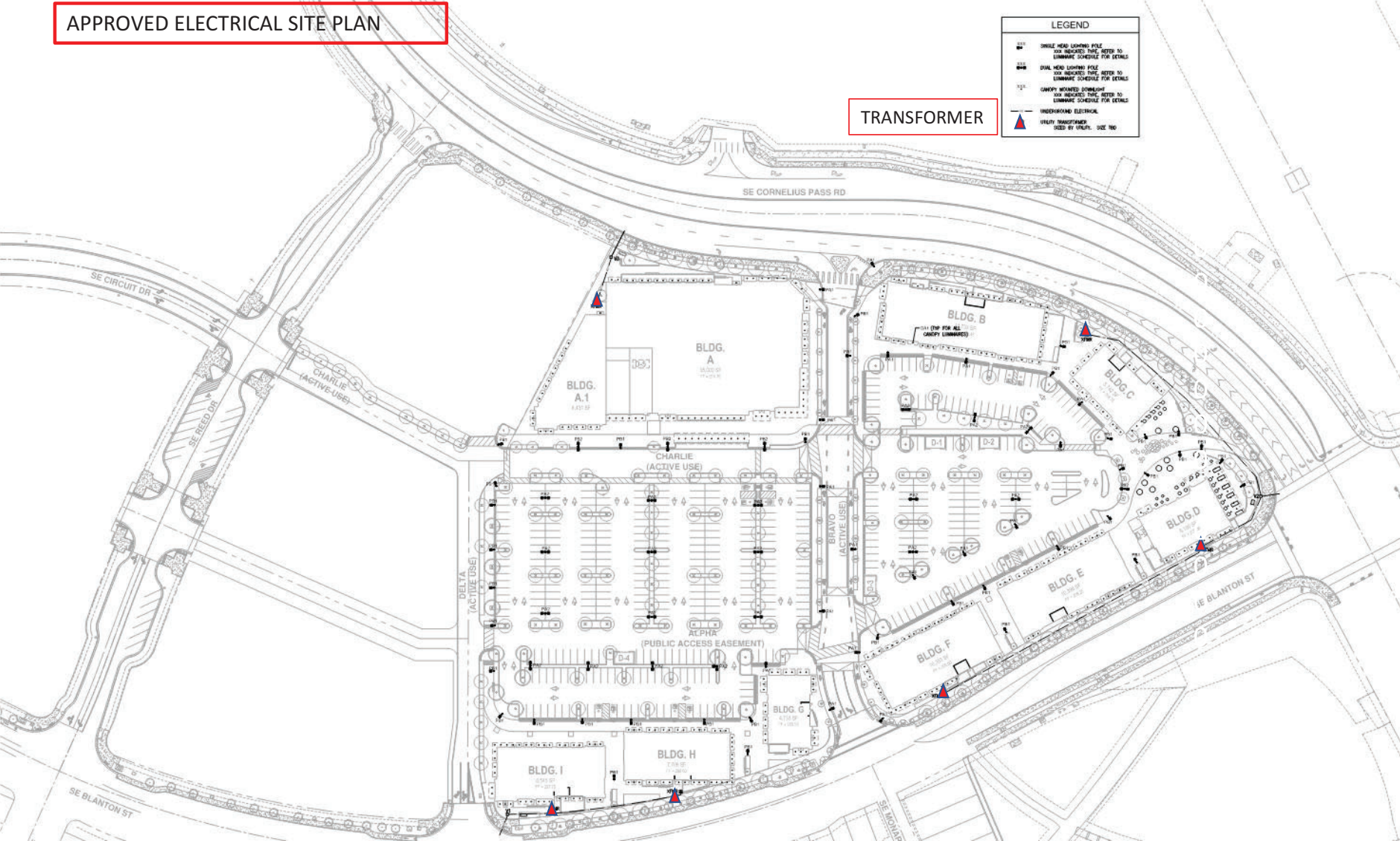
Toe of the Boot  
Design

**A** 16

APPROVED ELECTRICAL SITE PLAN

TRANSFORMER

LEGEND	
⚡	SINGLE HEAD LIGHTING POLE SEE RELATED TRAILER REFER TO LOADING SCHEDULE FOR DETAILS
⚡	DUAL HEAD LIGHTING POLE SEE RELATED TRAILER REFER TO LOADING SCHEDULE FOR DETAILS
⚡	CANOPY MOUNTED LIGHTING SEE RELATED TRAILER REFER TO LOADING SCHEDULE FOR DETAILS
⚡	UNDERGROUND ELECTRICAL UTILITY TRANSFORMER SEE BY VISUAL - SEE TAG



GENERAL NOTES

CONTRACTOR TO CHECK AND VERIFY ALL EXISTING DATA  
UNDERGROUND UTILITIES SHALL BE REVEALED AND LOCATED  
PRIOR TO THE START OF WORK.

THIS DRAWING IS THE PROPERTY OF COFFMAN ENGINEERS  
AND SHALL BE KEPT IN CONFIDENCE. NO PART OF THIS  
DRAWING SHALL BE REPRODUCED OR TRANSMITTED IN ANY  
FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL,  
INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY  
INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT  
THE WRITTEN PERMISSION OF COFFMAN ENGINEERS.

NO.	REVISION / DATE

PRELIMINARY  
NOT FOR CONSTRUCTION

TITLE  
ELECTRICAL SITE PLAN



PROPOSED ELECTRICAL SITE PLAN

TRANSFORMER

LEGEND

- PRIMARY POWER (1) 4% - 3/4" ØMS
- PRIMARY POWER (2) 4% - 3/4" ØMS
- COMMUNICATIONS (1) 4% - 3/4" ØMS
- COMMUNICATIONS (2) 4" C (CONCRETE)
- COMMUNICATIONS (3) 4" C (CONCRETE)
- POWER ENTER TO ONE-LINE BUILDING
- METAL METER CENTER
- UTILITY TRANSFORMER VAULT AND PULL MOUNTED TO TRANSFORMER
- UTILITY TRANSFORMER VAULT
- UTILITY TRANSFORMER VAULT

VAULT / PULL BOX SCHEDULE

- P1 PRIMARY POWER PULL VAULT
- T1 TRANSFORMER VAULT
- T2 TRANSFORMER VAULT
- C1 COMMUNICATIONS VAULT (CONCRETE)
- C2 COMMUNICATIONS VAULT (CONCRETE)
- V1 SITE ELECTRICAL PULL BOX



ALTERNATE TRANSFORMER LOCATION IN PLANTER (MAY REQUIRE TREE REMOVAL)

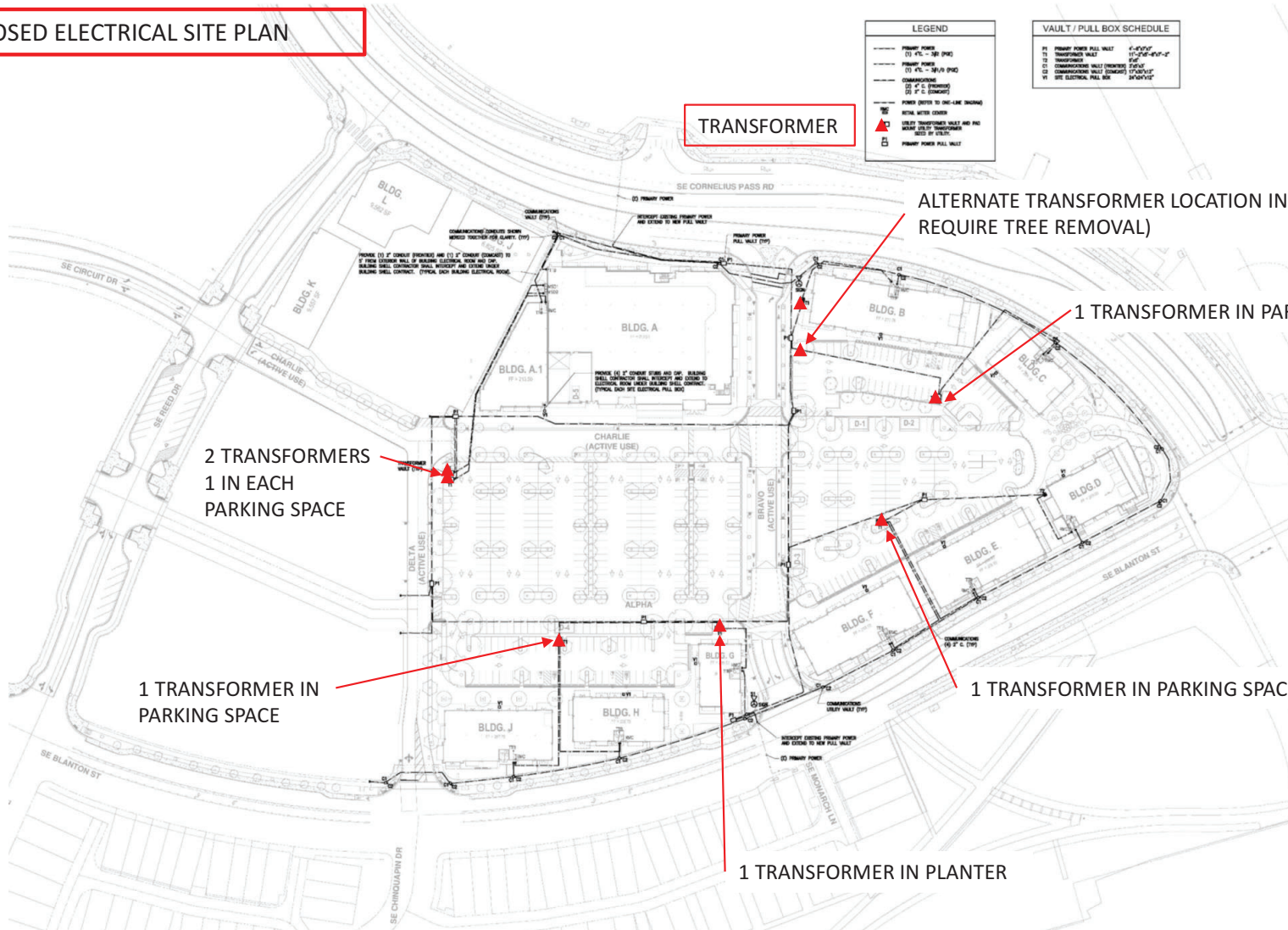
1 TRANSFORMER IN PARKING SPACE

2 TRANSFORMERS  
1 IN EACH  
PARKING SPACE

1 TRANSFORMER IN  
PARKING SPACE

1 TRANSFORMER IN PARKING SPACE

1 TRANSFORMER IN PLANTER

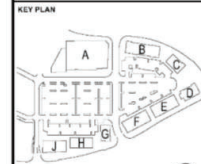


GENERAL NOTES

1. THE CONTRACTOR SHALL VERIFY ALL UTILITIES AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE PROPOSED WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE PROPOSED WORK.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE PROPOSED WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE PROPOSED WORK.

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE PROPOSED WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE PROPOSED WORK.



NO.	REVISION	DATE

ISSUE FOR BUILDING PERMIT  
SITE PLAN

POWER & UTILITIES  
SITE PLAN

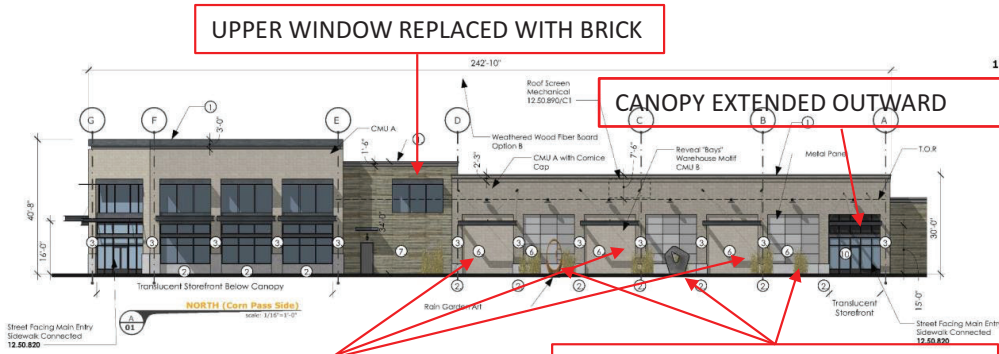
REED'S CROSSING  
TOWN CENTER  
HILLSBORO  
OREGON

DATE	SCALE
AS SHOWN	
DATE	
1/23/2023	

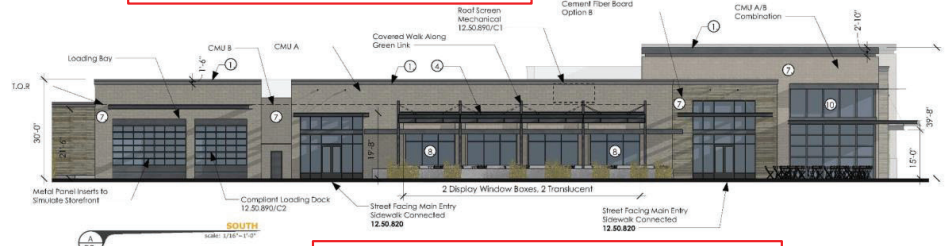
E.1.1



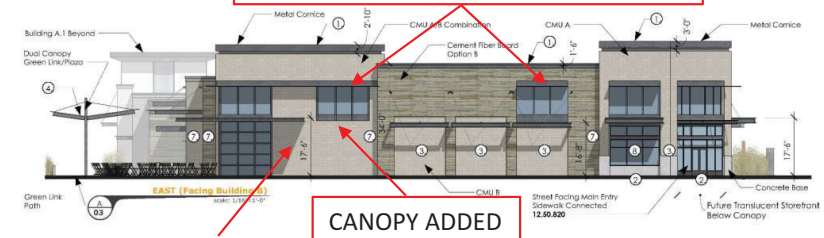
**NORTH  
ELEVATION  
VISIBLE FROM  
CORNELIUS  
PASS ROAD**



**GREEN WALLS ADDED OVER BRICK**      **METAL PANELS REPLACED WITH BRICK**



**UPPER WINDOW REPLACED WITH BRICK**



**STOREFRONT WINDOW REPLACES BRICK FOR THIS BAY**

**Note:**  
All building ground floor glazing along public street frontages will be clear glass.  
For Building A, ground floor glazing will have display window treatment as shown on this sheet.

If required by a future use, tenant improvements will have the option to apply translucent film to the ground floor glazing. Translucent film to be used is "3M Model #3M™ FASARA™ Glass Finishes Fabric/Washi SH2PTRK" or substantially similar material. Representative use of this translucent film on ground floor glazing is shown on this sheet.

**12.50.800 Design Standards for Non-Residential and Mixed-Use Development.**

- 12.50.820 Main Entries**  
B. Entry Orientation  
C. Entry Orientation on Corner Lots  
D. Multiple Entries Required on Long Facades  
E. Sidewalk Connections to Entries: **SEE SHEET LU-8**

**12.50.830 Ground Floor Windows**  
E. Standards for Non-Residential Development  
**SEE EXHIBIT J**

**12.50.840 Articulation and Detailed Design**  
B. Architectural Features  
Architectural features meeting this standard include, but are not limited to, the features listed below or similar features.

1. Cornices;
2. Bases;
3. Pilasters;
4. Belt courses;
5. Ornamental masonry;
6. Bays;
7. Recesses;
8. Arcades;
9. Display windows;
10. Recessed or detailed entries;
11. Fenestration; and/or
12. Similar architectural features approved by the Review Authority.

**12.50.890 Utilitarian Functions**  
C. Standards. **SEE SHEET L4-10 for Transformer Locations**

**12.45.800 Design Standards for Non-Residential and Mixed-Use Development.**  
C. Standards.

4. Articulation and Detailed Design.  
Incorporate at least 5 of the features found within **Section 12.50.840**.

**INCORPORATED ELEMENTS BELOW:**  
**KEYED NOTES**

- ① Cornices;
- ② Bases;
- ③ Pilasters;
- ④ Ornamental masonry;
- ⑤ Bays;
- ⑥ Recesses;
- ⑦ Arcades;
- ⑧ Display windows;

**12.50.800 Roofs** on the primary structure must meet the following standards:

- a. Sloped roofs may be permitted if the pitch is no steeper than 12/12, and no flatter than 4/12 and unless approved under paragraph b below.
- b. Flat roofs may be permitted in compliance with the following standards:
  - i. The roof has a 2-part cornice that is harmonious with the selected building and trim materials, the upper portion of which projects at least 6 inches from the building face and at least 2 inches farther from the building face than the lower portion, and the overall height of which is based on the height of the building as shown in Table 12.50.800-1

**HANSEN  
ARCHITECTURE**  
HANSEN ARCHITECTURE, INC.  
2311 N. 45th Street  
Suite 254  
Seattle, WA 98103

Culotta Engineering  
Civil, Structural, MEP  
1101 3rd Ave.  
Suite 400  
Seattle, WA 98101

S&B Landscape Architecture  
Landscape  
338 NW 5th Ave.  
Portland, OR 97209

**GRAMOR  
DEVELOPMENT**

REEDS Crossing  
Town Center LLC  
19747 SW 72nd Ave.  
#100  
Tukwila, OR 97062

PROJECT  
REEDS Crossing Town Center  
Design Review Package

DRAWN BY  
SG | MB  
DATE  
10.02.21  
REVISION  
05.22.22

SHEET  
**Elevation  
Building A**

**A**  
11

**HANSEN**  
ARCHITECTURE

HANSEN ARCHITECTURE, LLC  
2311 N 45th Street  
Suite 256  
Seattle, WA 98103

Collman Engineering  
Civil, Structural, MEP  
1101 2nd Ave.  
Suite 400  
Seattle, WA 98101

SERA Landscape Architecture  
Landscape  
338 NW 5th Ave.  
Portland, OR 97209

**GRAMOR**  
DEVELOPMENT

CLIENT  
REED's Crossing  
Town Center LLC  
19767 SW 72nd Ave  
#100  
Tualatin, OR 97062

PROJECT  
REED's Crossing Town Center  
Design Review Package

DRAWN BY  
SG | MB

ISSUE  
10.02.21

RE-ISSUE  
01.11.23

SHEET

Elevation  
Building A

**A0.1**



APPROVED NORTH ELEVATION

**Original Elevation**  
scale: 1/16"=1'-0"

A  
01

NORTH  
ELEVATION  
VISIBLE FROM  
CORNELIUS  
PASS ROAD



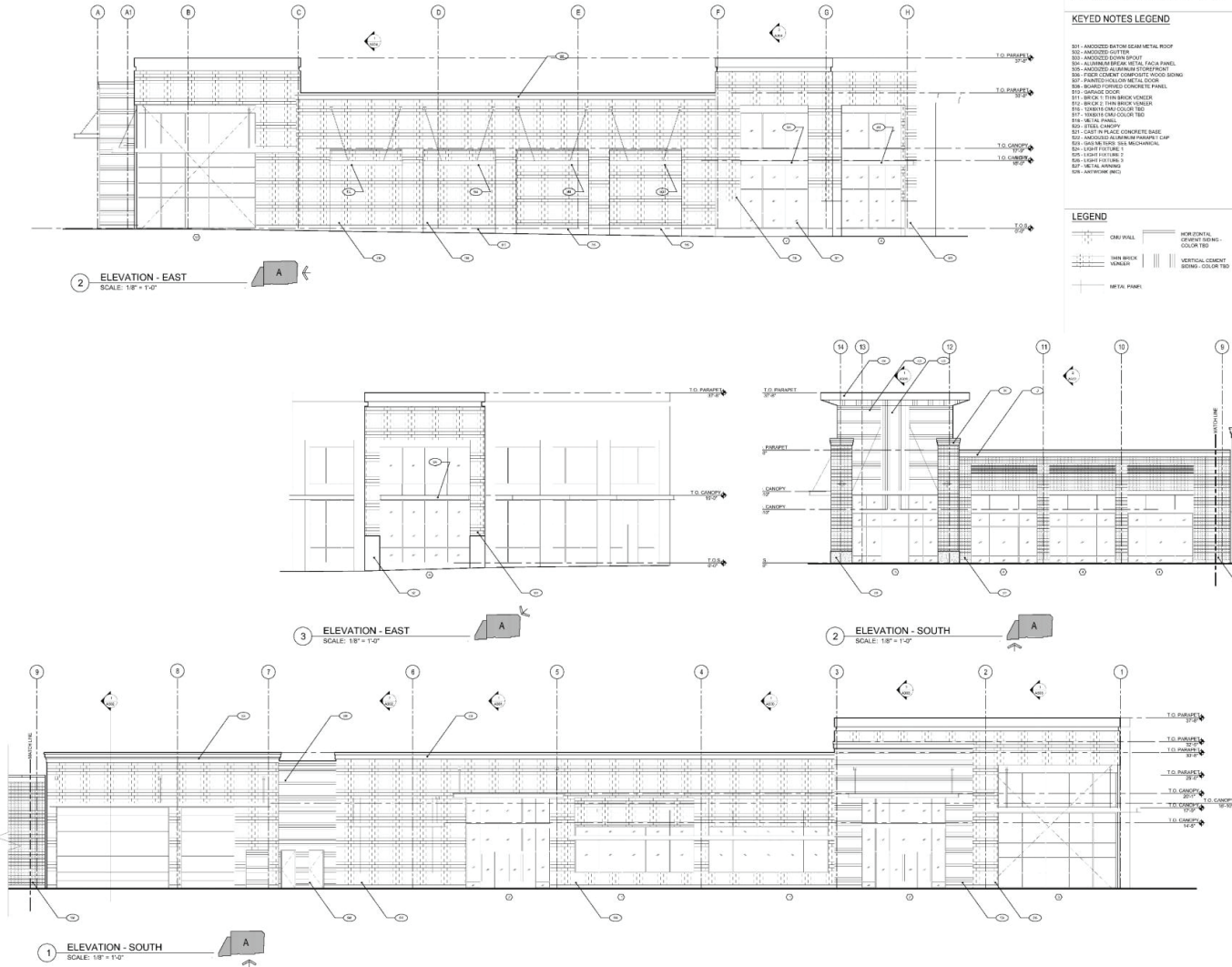
PROPOSED MODIFICATIONS NORTH ELEVATION

**Proposed Elevation**  
scale: 1/16"=1'-0"

A  
01



**BUILDING A - PROPOSED ELEVATION**



**GENERAL NOTES**

- A. SEE WALL SECTIONS FOR PARTIAL ELEVATIONS NOT SHOWN
- B. SEE FLOOR PLANS FOR INTERIOR DOORS AND WINDOW TYPES
- C. SEE DOOR AND WINDOW TYPES SCHEDULES FOR ADDITIONAL INFORMATION
- D. MATERIALS AND FINISHES SHALL BE SUBJECT TO APPROVAL BY THE ARCHITECT
- E. REFER TO SPEC FOR FINISH MATERIALS OF EXISTING AREAS

**KEYED NOTES LEGEND**

- S01 - ANODIZED BOTTOM GRAIN METAL ROOF
- S02 - ANODIZED GUTTER
- S03 - ANODIZED DOWN SPOUT
- S04 - ALUMINUM BRUSH METAL FACIA PANEL
- S05 - ANODIZED ALUMINUM STOREFRONT
- S06 - FIBER CONCRETE COMPOSITE WOOD SIDING
- S07 - BRANDED COLOR METAL CLADDING
- S08 - BRANDED PRESSED CONCRETE CLADDING
- S09 - SHAPAC CLADDING
- S10 - BRICK 1" THICK BRICK VENEER
- S11 - BRICK 2" THICK BRICK VENEER
- S12 - CONCRETE CLADDING
- S13 - METAL PANEL
- S14 - METAL PANEL
- S15 - BRICK 1" THICK BRICK VENEER
- S16 - CONCRETE CLADDING
- S17 - CONCRETE CLADDING
- S18 - ANODIZED ALUMINUM PARALLEL CAP
- S19 - LIGHT FIXTURE 1
- S20 - LIGHT FIXTURE 2
- S21 - LIGHT FIXTURE 3
- S22 - METAL AWNING
- S23 - WINDOW (SIC)

**LEGEND**

- CONCRETE CLADDING (COLOR TBD)
- SHAPAC CLADDING
- BRICK VENEER
- VERTICAL CONCRETE SIDING (COLOR TBD)
- METAL PANEL

**HANSEN ARCHITECTURE**

---

**STAMP**

**CLIENT**  
 REED'S CROSSING  
 TOWN CENTER, LLC  
 19922 SW 72ND AVENUE # 100  
 TUALATIN, OR 97062

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**GENERAL NOTES**

1. ALL WORK SHALL BE IN ACCORDANCE WITH ALL LOCAL ORDINANCES AND REGULATIONS. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF TUALATIN, OR. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF TUALATIN, OR. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF TUALATIN, OR.

2. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF TUALATIN, OR. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF TUALATIN, OR. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF TUALATIN, OR.

3. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF TUALATIN, OR. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF TUALATIN, OR. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF TUALATIN, OR.

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**KEY PLAN**

TRUE NORTH

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**BUILDING - A**

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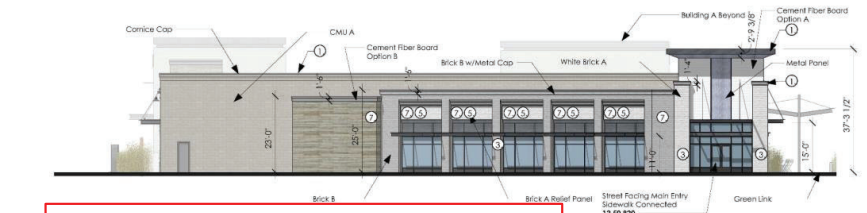
**REED'S CROSSING TOWN CENTER**

HILLSBORO OREGON

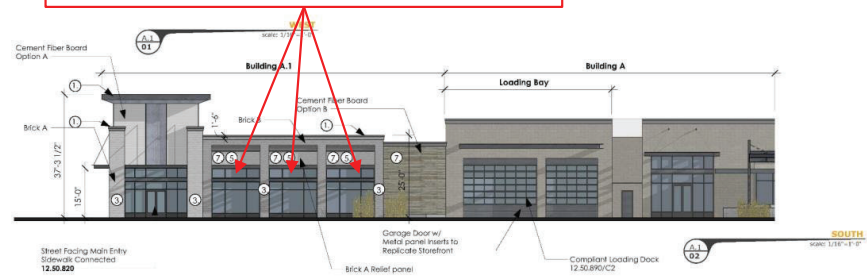
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DATE: 10/28/2022	SCALE: A200
PROJECT: 2100012.02	DATE: 10/28/2022





UPPER GLASS REPLACED WITH METAL PANEL



**Note:**  
All building ground floor glazing along public street frontages will be clear glass.  
If required by a future use, tenant improvements will have the option to apply translucent film to the ground floor glazing.  
Translucent film to be used is "3M Model #3M" FASARA" Glass Finishes Fabric/Wash SH2PTRK" or substantially similar material.  
Representative use of this translucent film on ground floor glazing is shown on this sheet.

COLUMNS REPLACED WITH GLAZING

**12.50.800 Design Standards for Non-Residential and Mixed-Use Development.**

- 12.50.820 Main Entries**  
B. Entry Orientation  
C. Entry Orientation on Corner Lots  
D. Multiple Entries Required on Long Facades  
E. Sidewalk Connections to Entries: **SEE SHEET LU-8**

**12.50.830 Ground Floor Windows**  
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**12.50.840 Articulation and Detailed Design**

- B. Architectural Features  
Architectural features meeting this standard include, but are not limited to, the features listed below or similar features.
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  2. Bases;
  3. Pilasters;
  4. Bell courses;
  5. Ornamental masonry;
  6. Bays;
  7. Recesses;
  8. Arcades;
  9. Display windows;
  10. Recessed or detailed entries;
  11. Fenestration; and/or
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**12.50.890 Utilitarian Functions**  
C. Standards. **SEE SHEET L4-10 for Transformer Locations**

**12.45.800 Design Standards for Non-Residential and Mixed-Use Development.**  
C. Standards.  
4. Articulation and Detailed Design.  
Incorporate at least 5 of the features found within **Section 12.50.840**.

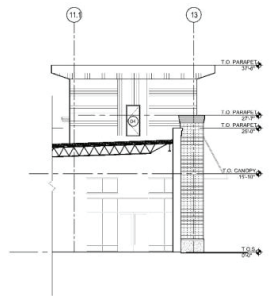
**INCORPORATED ELEMENTS BELOW:**  
**KEYED NOTES**

- ① Cornices;
- ② Bases;
- ③ Pilasters;
- ④ Ornamental masonry;
- ⑤ Bays;
- ⑥ Recesses;
- ⑦ Arcades;
- ⑧ Display windows;

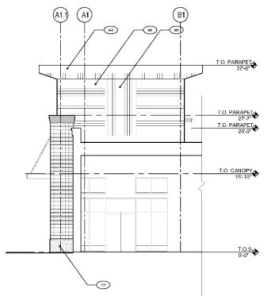
**12.50.800. Roofs** on the primary structure must meet the following standards:

- a. Sloped roofs may be permitted if the pitch is no steeper than 12/12, and no flatter than 4/12 and unless approved under paragraph b below.
- b. Flat roofs may be permitted in compliance with the following standards:
  - i. The roof has a 2-part cornice that is harmonious with the selected building and trim materials, the upper portion of which projects at least 6 inches from the building face and at least 2 inches farther from the building face than the lower portion, and the overall height of which is based on the height of the building as shown in Table 12.50.800-1

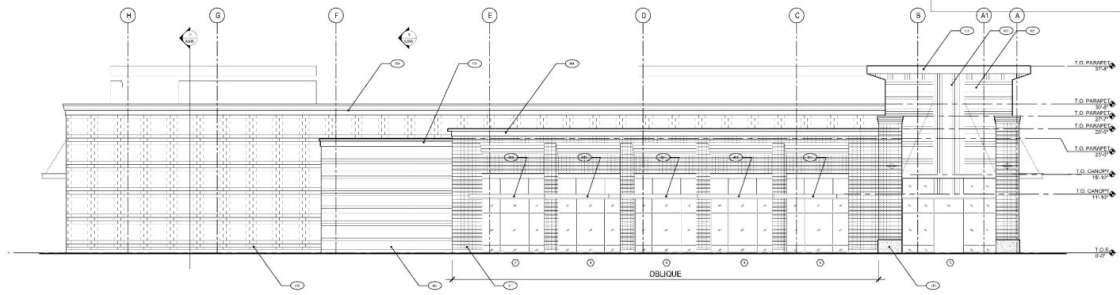
**BUILDING A - PROPOSED ELEVATION**



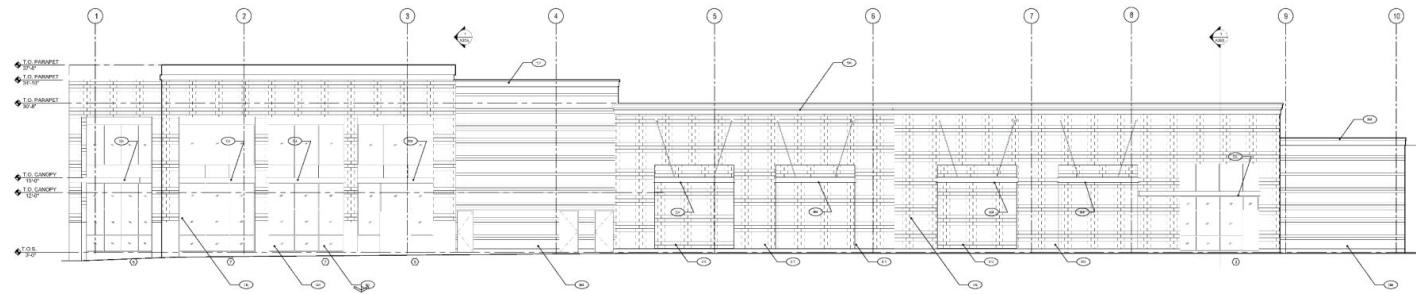
4 ELEVATION - TOWER - NORTH  
SCALE: 1/8" = 1'-0"



3 ELEVATION - TOWER - EAST  
SCALE: 1/8" = 1'-0"



2 ELEVATION - WEST  
SCALE: 1/8" = 1'-0"



1 ELEVATION - NORTH  
SCALE: 1/8" = 1'-0"

**GENERAL NOTES**

- A. SEE WALL SECTIONS FOR FINISH ELEVATIONS NOT SHOWN.
- B. SEE COLOR PALETTE FOR FINISH COLOR AND VENDOR. COLOR INFORMATION IS SUBJECT TO SUPPLY OF WALLS & FINISHES.
- C. FINISH ALL UNFINISHED MISCELLANEOUS ITEMS TO MATCH ADJACENT MATERIAL OR FINISH FOR FINISH.
- D. REFER TO SPEC FOR FINISH MATERIALS TO BE USED IN AREAS.

**KEYED NOTES LEGEND**

- 001 - ANCHORED DETAIL FROM METAL ROOF
- 002 - ANCHORED STUDS
- 003 - ANCHORED DOWN BRACE
- 004 - ALUMINUM BEGAL METAL FRAMA PANEL
- 005 - ANCHORED ALUMINUM FRAMA PANEL
- 006 - FROM CORNER CONCRETE TO BRICK
- 007 - PAINTED HOLLOW METAL DOOR
- 008 - BRICK FORMED CONCRETE PANEL
- 009 - GARAGE DOOR
- 010 - BRICK 1/2 THICK BRICK VENEER
- 011 - SENSUAL CMU COLOR TEO
- 012 - SENSUAL CMU COLOR TEO
- 013 - METAL PANEL
- 014 - SENSUAL CMU COLOR TEO
- 015 - SENSUAL CMU COLOR TEO
- 016 - SENSUAL CMU COLOR TEO
- 017 - SENSUAL CMU COLOR TEO
- 018 - 1/2\"/>

**LEGEND**

- CRUI WALL: HORIZONTAL CONCRETE SIDING - COLOR TEO
- THIN BRICK VENEER: VERTICAL CONCRETE SIDING - COLOR TEO
- METAL PANEL



**STAMP**

CLIENT  
REED'S CROSSING  
TOWN CENTER, INC.  
19922 SIX 72ND AVENUE # 100  
TUALATIN, OR 97062

**GENERAL NOTES**

1. CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL LOCAL ORDINANCES AND REGULATIONS. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL RESIDENTIAL CODE (IRC).  
2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL RESIDENTIAL CODE (IRC).  
3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL RESIDENTIAL CODE (IRC).  
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL RESIDENTIAL CODE (IRC).

**KEY PLAN**



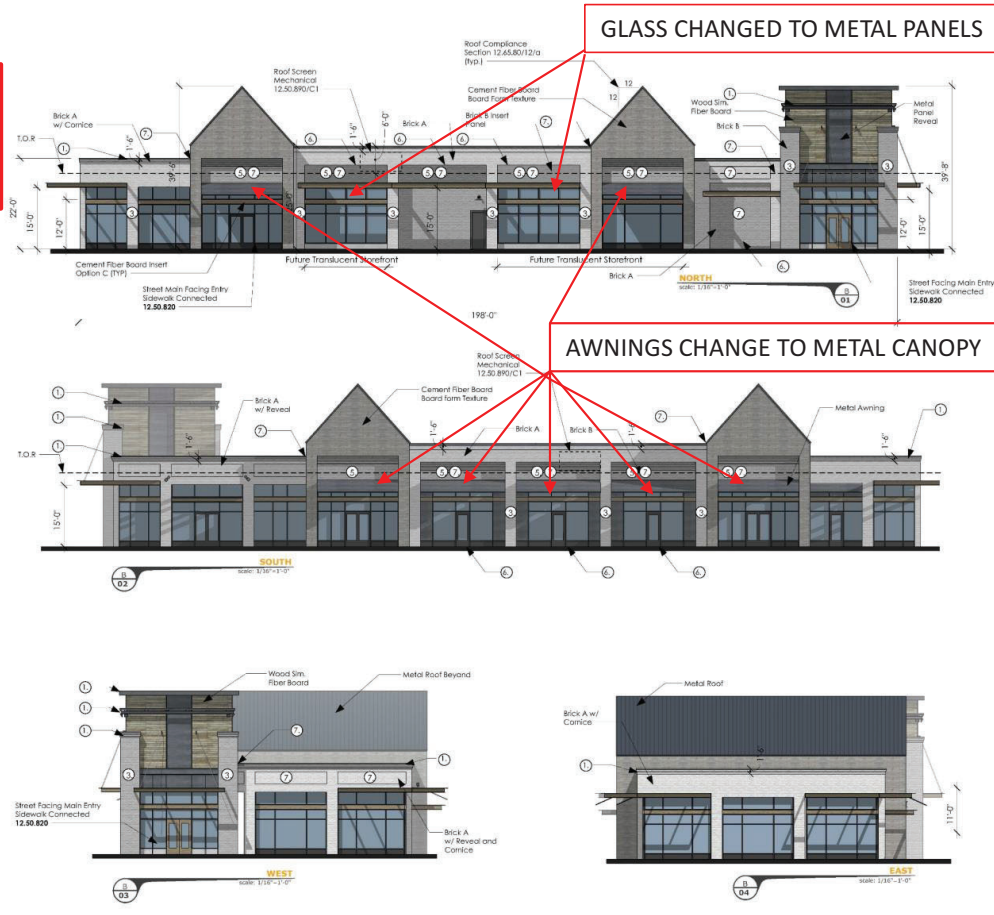
NO.	10-004-000	SHEET
TRUE NORTH		

**BUILDING - A**

REED'S CROSSING  
TOWN CENTER  
HILLSBORO  
OREGON

DATE	NO.	DESCRIPTION
AS SHOWN	10/28/2022	A201
DATE	NO.	DESCRIPTION
PLN: 0000/00	REV: 01/12/02	

NORTH ELEVATION  
VISIBLE FROM  
CORNELIUS PASS  
ROAD



GLASS CHANGED TO METAL PANELS

AWNINGS CHANGE TO METAL CANOPY

**Note:**  
All building ground floor glazing along public street frontages will be clear glass.

If required by a future use, tenant improvements will have the option to apply translucent film to the ground floor glazing. Translucent film to be used is "3M Model #3M™ FASARA™ Glass Finishes Fabric/Washi SH2PTRK" or substantially similar material. Representative use of this translucent film on ground floor glazing is shown on this sheet.

**12.50.800 Design Standards for Non-Residential and Mixed-Use Development.**

- 12.50.820 Main Entries**  
 B. Entry Orientation  
 C. Entry Orientation on Corner Lots  
 D. Multiple Entries Required on Long Facades  
 E. Sidewalk Connections to Entries: **SEE SHEET LU-8**

**12.50.830 Ground Floor Windows**  
 E. Standards for Non-Residential Development  
**SEE EXHIBIT J**

**12.50.840 Articulation and Detailed Design**

- B. Architectural Features  
 Architectural features meeting this standard include, but are not limited to, the features listed below or similar features.
1. Cornices;
  2. Bays;
  3. Pilasters;
  4. Bell courses;
  5. Ornamental masonry;
  6. Bays;
  7. Recesses;
  8. Arcades;
  9. Display windows;
  10. Recessed or detailed entries;
  11. Fenestration; and/or
  12. Similar architectural features approved by the Review Authority.

**12.50.890 Utilitarian Functions**  
 C. Standards. **SEE SHEET L4-10 for Transformer Locations**

**12.45.800 Design Standards for Non-Residential and Mixed-Use Development.**

- C. Standards.  
 4. Articulation and Detailed Design.  
 Incorporate at least 5 of the features found within **Section 12.50.840**.

**INCORPORATED ELEMENTS BELOW:**  
**KEYED NOTES**

- ① Cornices;
- ② Bays;
- ③ Pilasters;
- ④ Ornamental masonry;
- ⑤ Bays;
- ⑦ Recesses;
- ⑧ Arcades;
- ⑨ Display windows;

**12.05.005 Roofs** on the primary structure must meet the following standards:

- a. Sloped roofs may be permitted if the pitch is no steeper than 12/12, and no flatter than 4/12 and unless approved under paragraph b below.
- b. Flat roofs may be permitted in compliance with the following standards:
  - i. The roof has a 2-part cornice that is harmonious with the selected building and trim materials, the upper portion of which projects at least 6 inches from the building face and at least 2 inches farther from the building face than the lower portion, and the overall height of which is based on the height of the building as shown in Table 12.50.800-1

**HANSEN**  
 ARCHITECTURE  
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 2311 N. 45th Street  
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Cultural Engineering  
 Civil, Structural, MEP  
 1101 5th Ave.  
 Suite 400  
 Seattle, WA 98101

SEA Landscape Architecture  
 Landscape  
 338 NW 5th Ave.  
 Portland, OR 97209

**GRAMOR**  
 DEVELOPMENT

CLIENT  
 REED'S Crossing  
 Town Center LLC  
 19747 SW 72nd Ave.  
 #100  
 Tukwila, OR 97062

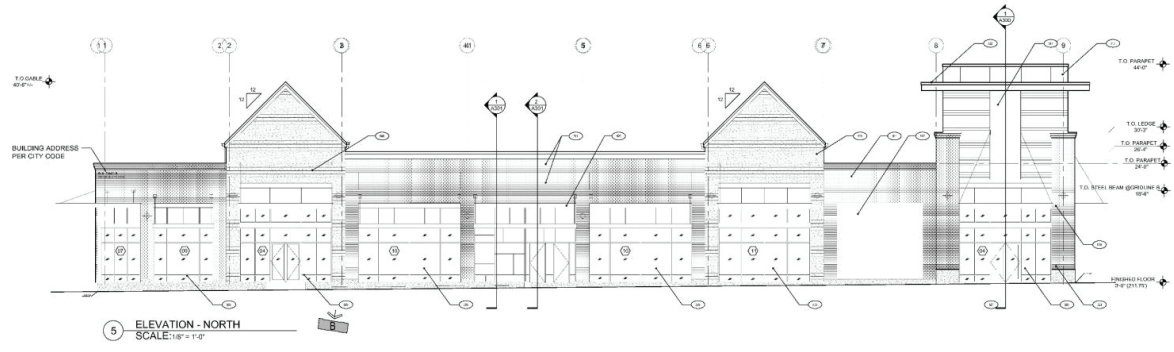
PROJECT  
 REED'S Crossing Town Center  
 Design Review Package

DRAWN BY  
 SG | MB  
 DATE  
 10.02.21  
 REVISION  
 05.22.22

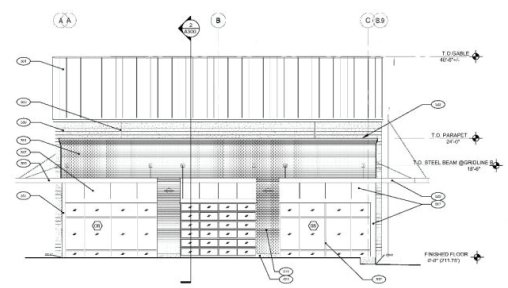
SHEET  
**Elevation**  
**Building B**

**A** 13

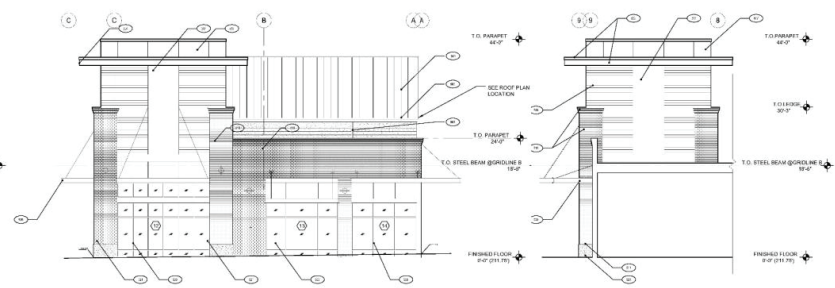
**BUILDING B - PROPOSED ELEVATION**



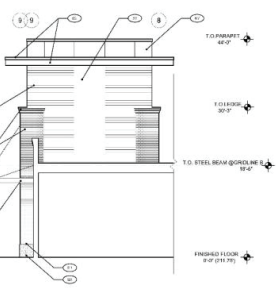
5 ELEVATION - NORTH  
SCALE: 1/8" = 1'-0"



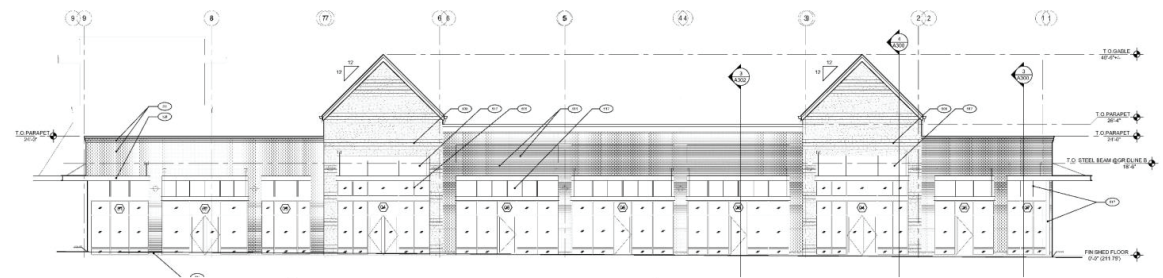
4 ELEVATION - EAST  
SCALE: 1/8" = 1'-0"



3 ELEVATION - WEST  
SCALE: 1/8" = 1'-0"



2 TOWER ELEVATION  
SCALE: 1/8" = 1'-0"



1 ELEVATION - SOUTH  
SCALE: 1/8" = 1'-0"

**GENERAL NOTES**

- A. SEE THE NOTES FOR PANELS ELEVATIONS LEFT BEHIND.
- B. SEE FLOOR PLANS FOR A FLOOR PLAN AND WINDOW TYPES.
- C. SEE ROOF AND WINDOW TYPES SCHEDULES FOR ADDITIONAL INFORMATION.
- D. IF ANY MATERIALS ARE NOT SPECIFIED, REFER TO THE MATERIALS SCHEDULES FOR ADDITIONAL INFORMATION.
- E. REFER TO SCHEDULES FOR MATERIALS OF DIFFERENT TYPES.

**KEYED NOTES LEGEND**

- 001 - UNFINISHED EXTERIOR BRICK METAL ROOF
- 002 - UNFINISHED EXTERIOR BRICK
- 003 - UNFINISHED EXTERIOR BRICK
- 004 - ALUMINUM BRICK METAL PANEL
- 005 - UNFINISHED ALUMINUM EXTERIOR
- 006 - FIBER CEMENT LAP SIDING
- 007 - NOT USED
- 008 - BOARD FORMED CONCRETE PANEL
- 009 - NOT USED
- 010 - NOT USED
- 011 - BRICK - THIN BRICK VENEER
- 012 - BRICK - THIN BRICK VENEER
- 013 - BRICK - THIN BRICK VENEER
- 014 - BRICK - THIN BRICK VENEER
- 015 - BRICK - THIN BRICK VENEER
- 016 - BRICK - THIN BRICK VENEER
- 017 - METAL PANEL 1
- 018 - METAL PANEL 2
- 019 - METAL PANEL 3
- 020 - STEEL CANOPY
- 021 - COATED WUPANCE CONCRETE BASE
- 022 - UNFINISHED ALUMINUM PARAPET CAP
- 023 - LIGHT FIXTURE 1
- 024 - LIGHT FIXTURE 2
- 025 - LIGHT FIXTURE 3
- 026 - NOT USED
- 027 - METAL PANEL

**LEGEND**

- BOARD FORMED CONCRETE
- FIBER CEMENT LAP SIDING
- THIN BRICK VENEER
- METAL PANEL

↑ LIGHTING FIXTURE PER #1 ELECTRICAL



**STAMP**

CLIENT  
REED'S CROSSING  
TOWN CENTER, INC.  
19022 BIV 72ND AVENUE # 100  
TUALATIN, OR 97062

**GENERAL NOTES**

1. ALL WORK SHALL BE IN ACCORDANCE WITH ALL LOCAL ORDINANCES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF TUALATIN, OR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF TUALATIN, OR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF TUALATIN, OR.

**KEY PLAN**



PRELIMINARY  
NOT FOR CONSTRUCTION

**BUILDING - B**

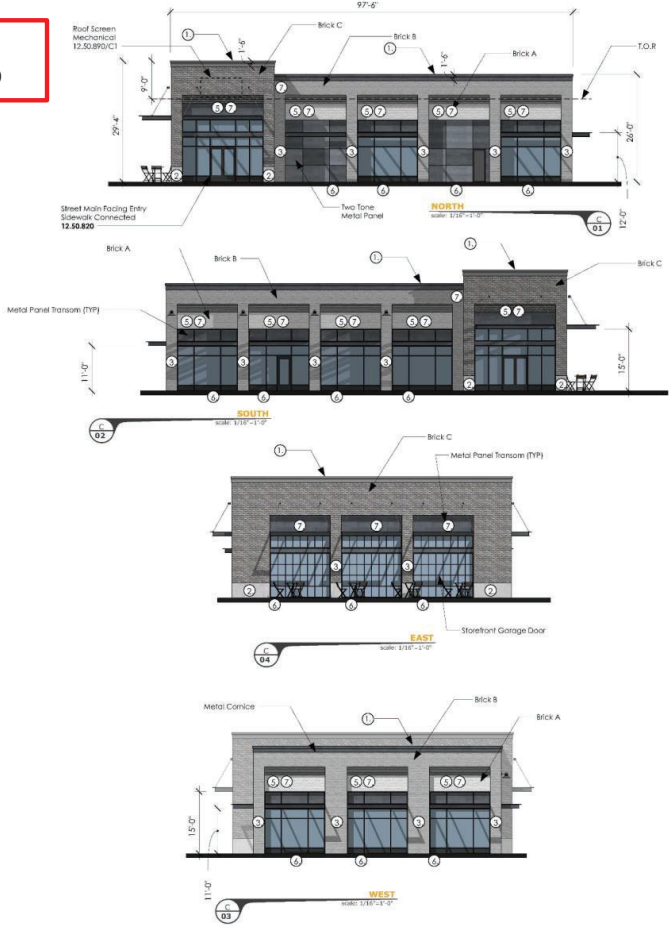
REED'S CROSSING  
TOWN CENTER

HILLSBORO  
OREGON

DATE: AS SHOWN	DATE: 10/10/2022
BY: DH	CHK: CK
PROJECT: A200	DATE: 2100012.02



NORTH ELEVATION VISIBLE FROM CORNELIUS PASS ROAD



**Note:**  
 All building ground floor glazing along public street frontages will be clear glass.  
 If required by a future use, tenant improvements will have the option to apply translucent film to the ground floor glazing. Translucent film to be used is "3M Model #3M™ FASARA™ Glass Finishes Fabric/Wash SH2PTRK" or substantially similar material. Representative use of this translucent film on ground floor glazing is shown on this sheet.

NO CHANGES - UPPER PANELS WERE ALREADY "METAL PANELS"

**12.50.800 Design Standards for Non-Residential and Mixed-Use Development.**  
**12.50.820 Main Entries**  
 B. Entry Orientation  
 C. Entry Orientation on Corner Lots  
 D. Multiple Entries Required on Long Facades  
 E. Sidewalk Connections to Entries: **SEE SHEET LU-8**

**12.50.830 Ground Floor Windows**  
 E. Standards for Non-Residential Development  
**SEE EXHIBIT J**

**12.50.840 Articulation and Detailed Design**  
 B. Architectural Features  
 Architectural features meeting this standard include, but are not limited to, the features listed below or similar features.  
 1. Cornices;  
 2. Bases;  
 3. Pilasters;  
 4. Bell courses;  
 5. Ornamental masonry;  
 6. Bays;  
 7. Recesses;  
 8. Arcades;  
 9. Display windows;  
 10. Recessed or detailed entries;  
 11. Fenestration; and/or  
 12. Similar architectural features approved by the Review Authority.

**12.50.890 Utilitarian Functions**  
 C. Standards. **SEE SHEET L4-10 for Transformer Locations**

**12.45.800 Design Standards for Non-Residential and Mixed-Use Development.**  
 C. Standards.  
 4. Articulation and Detailed Design.  
 Incorporate at least 5 of the features found within **Section 12.50.840**.

**INCORPORATED ELEMENTS BELOW:**  
**KEYED NOTES**

- ① Cornices;
- ② Bases;
- ③ Pilasters;
- ④ Ornamental masonry;
- ⑤ Bays;
- ⑥ Recesses;
- ⑦ Arcades;
- ⑧ Display windows;

**12.50.800s.** Roofs on the primary structure must meet the following standards:  
 a. Sloped roofs may be permitted if the pitch is no steeper than 12/12, and no flatter than 4/12 and unless approved under paragraph b below.  
 b. Flat roofs may be permitted in compliance with the following standards:  
 i. The roof has a 2-part cornice that is harmonious with the selected building and trim materials, the upper portion of which projects at least 6 inches from the building face and at least 2 inches farther from the building face than the lower portion, and the overall height of which is based on the height of the building as shown in Table 12.50.800-1

**HANSEN ARCHITECTURE**  
 HANSEN ARCHITECTURE, INC.  
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Civil Engineering  
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 Suite 400  
 Seattle, WA 98101

SSA Landscape Architecture  
 Landscape  
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 Portland, OR 97209

**GRAMOR DEVELOPMENT**

CLIENT  
 REED'S Crossing  
 Town Center LLC  
 19747 SW 72nd Ave.  
 #100  
 Tukwila, OR 97062

PROJECT  
 REED'S Crossing Town Center  
 Design Review Package

DRAWN BY  
 SG | MB  
 DATE  
 10.02.21  
 REVISION  
 05.22.22

SHEET  
**Elevation  
 Building C**

**A** 14

**BUILDING C - PROPOSED ELEVATION**

**GENERAL NOTES**

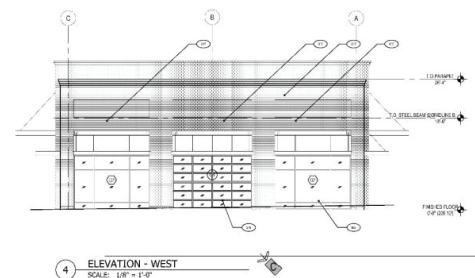
- A. SEE THE SECTION FOR MATERIAL SELECTIONS NOT SHOWN.
- B. SEE FLOOR PLANS FOR EXTERIOR DOOR AND WINDOW TYPES.
- C. SEE DOOR AND WINDOW TYPES SCHEDULES FOR ADDITIONAL INFORMATION.
- D. PAINT ALL EXTERIOR MISCELLANEOUS ITEMS TO MATCH ADJACENT SURFACES OR PER PROJECT COLOR BOARD.
- E. REFER TO SPECS FOR FINISH MATERIALS OF SOFT AREAS.

**KEYED NOTES LEGEND**

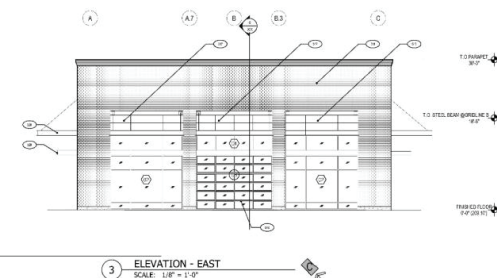
- 00 - ANCHOR BOLTS FOR STEEL METAL ROOF
- 01 - ANCHORS/CLUTTER
- 02 - ANCHORS/CLUTTER
- 03 - ANCHORS/CLUTTER
- 04 - ALUMINUM BEZEL METAL FACIA PANEL
- 05 - ANCHORS/CLUTTER
- 06 - FIBER CEMENT LAP SIDING
- 07 - NOT USED
- 08 - FIBER CEMENT LAP SIDING
- 09 - NOT USED
- 10 - NOT USED
- 11 - NOT USED
- 12 - NOT USED
- 13 - NOT USED
- 14 - NOT USED
- 15 - NOT USED
- 16 - NOT USED
- 17 - NOT USED
- 18 - METAL PANEL 1
- 19 - METAL PANEL 2
- 20 - METAL PANEL 3
- 21 - STEEL GANTRY
- 22 - GASKET/PLASTIC CONCRETE BASE
- 23 - ANCHORS/CLUTTER
- 24 - GASKET/PLASTIC CONCRETE BASE
- 25 - GASKET/PLASTIC CONCRETE BASE
- 26 - GASKET/PLASTIC CONCRETE BASE
- 27 - NOT USED
- 28 - NOT USED

**LEGEND**

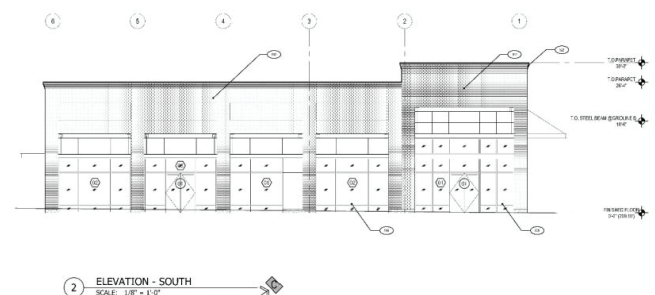
- BOARDS FORMED CONCRETE
- FIBER CEMENT LAP SIDING
- THIN BRICK VENEER
- METAL PANEL



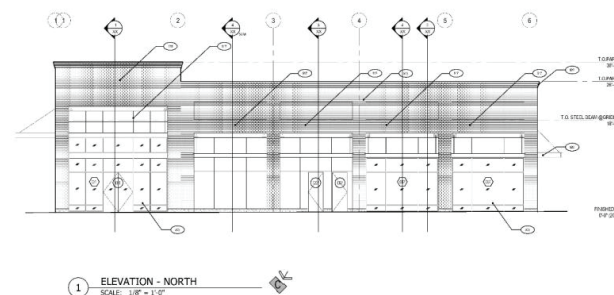
4 ELEVATION - WEST  
SCALE: 1/8" = 1'-0"



3 ELEVATION - EAST  
SCALE: 1/8" = 1'-0"



2 ELEVATION - SOUTH  
SCALE: 1/8" = 1'-0"



1 ELEVATION - NORTH  
SCALE: 1/8" = 1'-0"



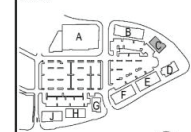
**STAMP**

CLIENT  
REED'S CROSSING  
Town Center, Inc.  
19022 SW 72ND AVENUE # 100  
TUALATIN, OR 97062

**GENERAL NOTES**

1. CONSULT ALL APPLICABLE CODES AND REGULATIONS FOR ALL LEVELS (LOADING AND UNLOADING AREAS).  
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL MECHANICAL AND ELECTRICAL CODE (IMC) AS APPLICABLE.  
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL AND ELECTRICAL CODE (IMC) AS APPLICABLE.  
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL AND ELECTRICAL CODE (IMC) AS APPLICABLE.

**KEY PLAN**



PRELIMINARY  
NOT FOR CONSTRUCTION

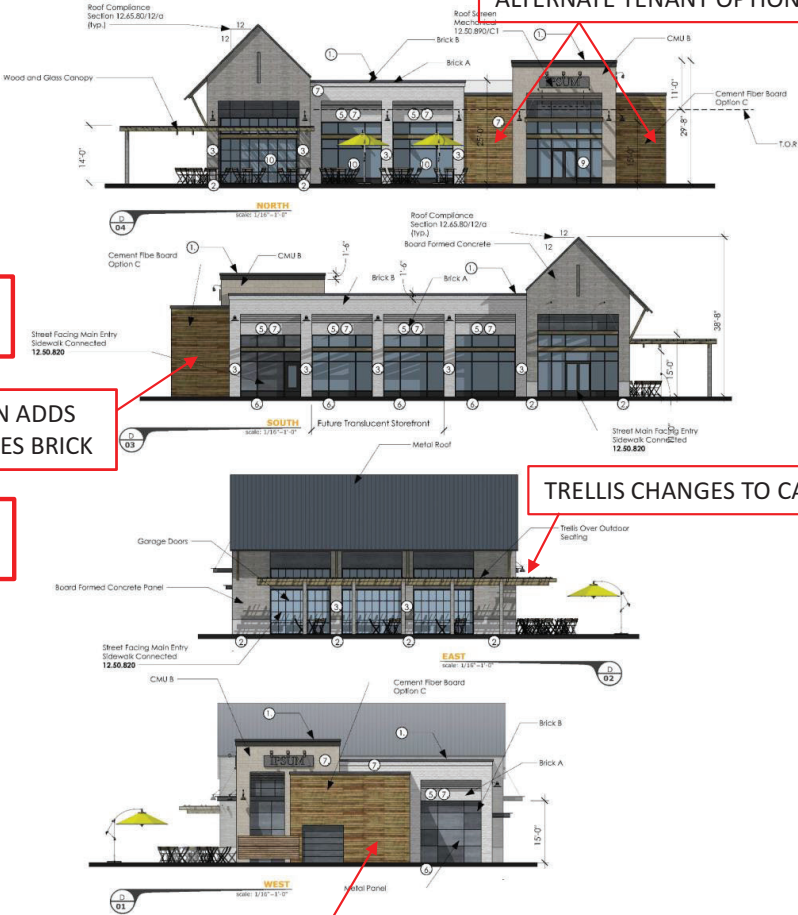
**BUILDING - C**

REED'S CROSSING  
TOWN CENTER

HILLSBORO  
OREGON

DATE:	10/10/2022	SCALE:	A200
BY:	DH	CHECKED:	CK
PROJECT NO.:	PLN-0000/00	REVISION:	2100012.02

ALTERNATE TENANT OPTION ADDS GLASS PANELS REMOVING BRICK



SOUTH ELEVATION VISIBLE FROM BLANTON STREET

ALTERNATE TENANT OPTION ADDS GLASS PANELS AND REMOVES BRICK

EAST ELEVATION VISIBLE FROM CORNELIUS PASS ROAD

TRELLIS CHANGES TO CANOPY

ALTERNATE TENANT OPTION REMOVES INTERIOR TRASH

- 12.50.800 Design Standards for Non-Residential and Mixed-Use Development.**
- 12.50.820 Main Entries**  
 B. Entry Orientation  
 C. Entry Orientation on Corner Lots  
 D. Multiple Entries Required on Long Facades  
 E. Sidewalk Connections to Entries: **SEE SHEET LU-8**
- 12.50.830 Ground Floor Windows**  
 E. Standards for Non-Residential Development  
**SEE EXHIBIT J**
- 12.50.840 Articulation and Detailed Design**  
 B. Architectural Features  
 Architectural features meeting this standard include, but are not limited to, the features listed below or similar features.  
 1. Cornices;  
 2. Bases;  
 3. Plasters;  
 4. Bell courses;  
 5. Ornamental masonry;  
 6. Bays;  
 7. Recesses;  
 8. Arcades;  
 9. Display windows;  
 10. Recessed or detailed entries;  
 11. Fenestration; and/or  
 12. Similar architectural features approved by the Review Authority.
- 12.50.890 Utilitarian Functions**  
 C. Standards. **SEE SHEET L6-10 for Transformer Locations**

- 12.65.800 Design Standards for Non-Residential and Mixed-Use Development.**
- 12.65.840. Articulation and Detailed Design.**  
 Incorporate at least 5 of the features found within Section 12.50.840.

**INCORPORATED ELEMENTS BELOW:**  
**KEYED NOTES**

- ① Cornices;
- ② Bases;
- ③ Plasters;
- ④ Ornamental masonry;
- ⑤ Bays;
- ⑥ Recesses;
- ⑦ Arcades;
- ⑧ Display windows;

**12.65.800. Roofs** on the primary structure must meet the following standards:  
 a. Sloped roofs may be permitted if the pitch is no steeper than 12/12 and no flatter than 4/12 and unless approved under paragraph b below.  
 b. Flat roofs may be permitted in compliance with the following standards:  
 i. The roof has a 2-part cornice that is harmonious with the selected building and trim materials, the upper portion of which projects at least 6 inches from the building face and at least 2 inches farther from the building face than the lower portion, and the overall height of which is based on the height of the building as shown in Table 12.50.800-1

**Note:**  
 All building ground floor glazing along public street frontages will be clear glass.

If required by a future use, tenant improvements will have the option to apply translucent film to the ground floor glazing. Translucent film to be used is "3M Model #3M™ FASARA™ Glass Finishes Fabric/Washi SH2PTRK™" or substantially similar material. Representative use of this translucent film on ground floor glazing is shown on this sheet.

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 REED'S Crossing  
 Town Center LLC  
 19747 SW 72nd Ave  
 #100  
 Tukwila, OR 98162

PROJECT  
 REED'S Crossing Town Center  
 Design Review Package

DRAWN BY  
 SG 1 MB  
 DATE  
 10.02.21  
 NO. 1620  
 05.22.22

SHEET  
 Elevation  
 Building D

**A15**

**BUILDING D - PROPOSED ELEVATION**

**GENERAL NOTES**

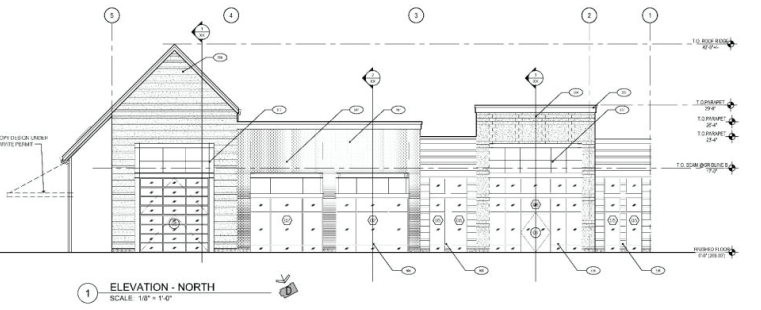
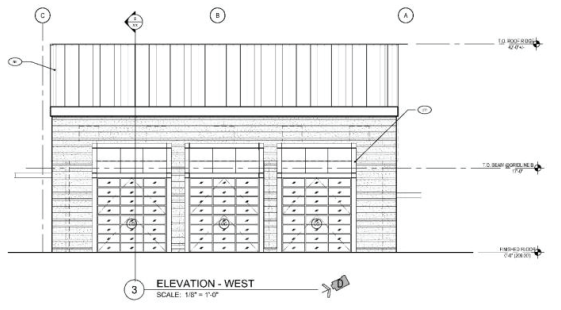
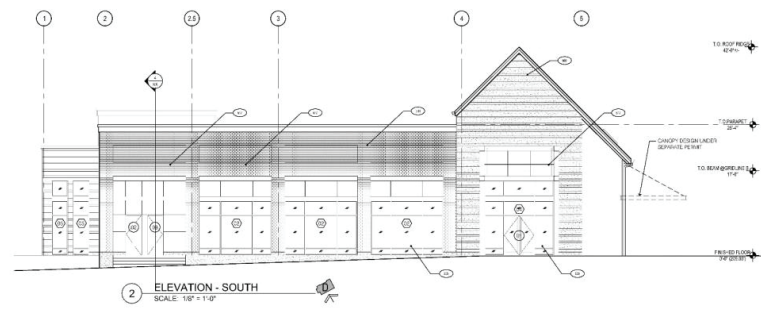
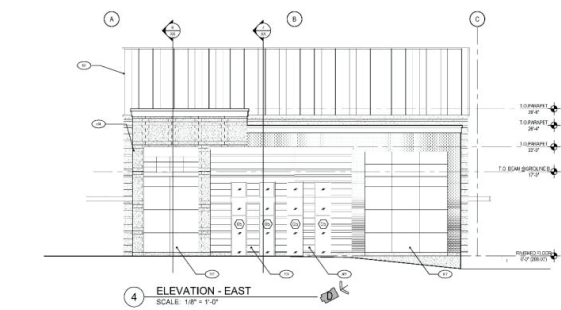
- A. SEE REEL SECTIONS FOR MATERIALS EXCEPTING NOT SHOWN.
- B. SEE FLOOR PLAN FOR PLACEMENT OF DOOR AND WINDOW TYPES.
- C. SEE SOffit AND FINISH TYPES SCHEDULES FOR SOFFIT PANEL INFORMATION.
- D. FINISH ALL MATERIALS UNLESS OTHERWISE NOTED.
- E. REFER TO RFP'S FOR FINISH MATERIALS OF SOFFIT AREAS.

**KEYED NOTES LEGEND**

- RS1 - UNPOURED CONCRETE WITH METAL ROOF
- RS2 - UNPOURED CONCRETE
- RS3 - UNPOURED CONCRETE
- RS4 - UNPOURED CONCRETE
- RS5 - UNPOURED CONCRETE
- RS6 - UNPOURED CONCRETE
- RS7 - UNPOURED CONCRETE
- RS8 - UNPOURED CONCRETE
- RS9 - UNPOURED CONCRETE
- RS10 - UNPOURED CONCRETE
- RS11 - UNPOURED CONCRETE
- RS12 - UNPOURED CONCRETE
- RS13 - UNPOURED CONCRETE
- RS14 - UNPOURED CONCRETE
- RS15 - UNPOURED CONCRETE
- RS16 - UNPOURED CONCRETE
- RS17 - UNPOURED CONCRETE
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- RS22 - UNPOURED CONCRETE
- RS23 - UNPOURED CONCRETE
- RS24 - UNPOURED CONCRETE
- RS25 - UNPOURED CONCRETE
- RS26 - UNPOURED CONCRETE
- RS27 - UNPOURED CONCRETE
- RS28 - UNPOURED CONCRETE
- RS29 - UNPOURED CONCRETE
- RS30 - UNPOURED CONCRETE
- RS31 - UNPOURED CONCRETE
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- RS36 - UNPOURED CONCRETE
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- RS52 - UNPOURED CONCRETE
- RS53 - UNPOURED CONCRETE
- RS54 - UNPOURED CONCRETE
- RS55 - UNPOURED CONCRETE
- RS56 - UNPOURED CONCRETE
- RS57 - UNPOURED CONCRETE
- RS58 - UNPOURED CONCRETE
- RS59 - UNPOURED CONCRETE
- RS60 - UNPOURED CONCRETE
- RS61 - UNPOURED CONCRETE
- RS62 - UNPOURED CONCRETE
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- RS68 - UNPOURED CONCRETE
- RS69 - UNPOURED CONCRETE
- RS70 - UNPOURED CONCRETE
- RS71 - UNPOURED CONCRETE
- RS72 - UNPOURED CONCRETE
- RS73 - UNPOURED CONCRETE
- RS74 - UNPOURED CONCRETE
- RS75 - UNPOURED CONCRETE
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- RS80 - UNPOURED CONCRETE
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- RS82 - UNPOURED CONCRETE
- RS83 - UNPOURED CONCRETE
- RS84 - UNPOURED CONCRETE
- RS85 - UNPOURED CONCRETE
- RS86 - UNPOURED CONCRETE
- RS87 - UNPOURED CONCRETE
- RS88 - UNPOURED CONCRETE
- RS89 - UNPOURED CONCRETE
- RS90 - UNPOURED CONCRETE
- RS91 - UNPOURED CONCRETE
- RS92 - UNPOURED CONCRETE
- RS93 - UNPOURED CONCRETE
- RS94 - UNPOURED CONCRETE
- RS95 - UNPOURED CONCRETE
- RS96 - UNPOURED CONCRETE
- RS97 - UNPOURED CONCRETE
- RS98 - UNPOURED CONCRETE
- RS99 - UNPOURED CONCRETE
- RS100 - UNPOURED CONCRETE

**LEGEND**

- BOARD FORMED CONCRETE
- FIBER CEMENT LAP SIDING
- THIN BRICK VENEER
- METAL PANEL
- LIGHTING FIXTURE PER ARCHITECTURAL



**HANSEN ARCHITECTURE**

**STAMP**

**CLIENT**  
REED'S CROSSING  
Town Center, Inc.

19022 SIX 72ND AVENUE # 100  
TUALATIN, OR 97062

**GENERAL NOTES**

**KEY PLAN**

**PRELIMINARY NOT FOR CONSTRUCTION**

**BUILDING - D**

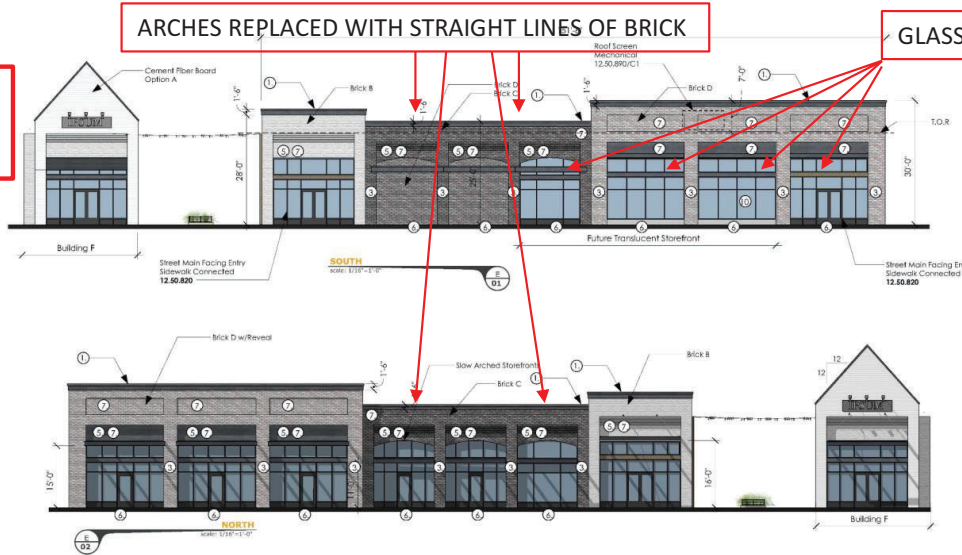
**REED'S CROSSING TOWN CENTER**

HILLSBORO OREGON

DATE: AS SHOWN	DATE: 10/10/2022
BY: DH	CHK: CK
PROJECT: PLN: 0000/00	DATE: 2100012.02



SOUTH ELEVATION  
VISIBLE FROM  
BLANTON STREET



GLASS REPLACED WITH METAL PANELS

GLASS REPLACED WITH METAL PANEL

GLASS REPLACED WITH METAL PANEL

**12.50.800 Design Standards for Non-Residential and Mixed-Use Development.**

- 12.50.820 Main Entries**  
 B. Entry Orientation  
 C. Entry Orientation on Corner Lots  
 D. Multiple Entries Required on Long Facades  
 E. Sidewalk Connections to Entries: **SEE SHEET LU-B**

- 12.50.830 Ground Floor Windows**  
 E. Standards for Non-Residential Development  
**SEE EXHIBIT J**

**12.50.840 Articulation and Detailed Design**  
 B. Architectural Features

- Architectural features meeting this standard include, but are not limited to, the features listed below or similar features.
1. Cornices;
  2. Bases;
  3. Pilasters;
  4. Bell courses;
  5. Ornamental masonry;
  6. Bays;
  7. Recesses;
  8. Arcades;
  9. Display windows;
  10. Recessed or detailed entries;
  11. Fenestration; and/or
  12. Similar architectural features approved by the Review Authority.

- 12.50.890 Utilitarian Functions**  
 C. Standards. **SEE SHEET L4-10 for Transformer Locations**

- 12.65.800 Design Standards for Non-Residential and Mixed-Use Development.**  
 C. Standards.  
 4. Articulation and Detailed Design.  
 Incorporate at least 5 of the features found within **Section 12.50.840.**

**INCORPORATED ELEMENTS BELOW:**  
**KEYED NOTES**

- ① Cornices;
- ② Bases;
- ③ Pilasters;
- ④ Ornamental masonry;
- ⑤ Bays;
- ⑥ Recesses;
- ⑦ Arcades;
- ⑧ Display windows;

- 12. Roofs.** Roofs on the primary structure must meet the following standards:
- a. Sloped roofs may be permitted if the pitch is no steeper than 12/12, and no flatter than 4/12 and unless approved under paragraph b below.
  - b. Flat roofs may be permitted in compliance with the following standards:
    - i. The roof has a 2-part cornice that is harmonious with the selected building and trim materials, the upper portion of which projects at least 6 inches from the building face and at least 2 inches farther from the building face than the lower portion, and the overall height of which is based on the height of the building as shown in Table 12.50.800-1

**Note:**  
 All building ground floor glazing along public street frontages will be clear glass.

If required by a future use, tenant improvements will have the option to apply translucent film to the ground floor glazing. Translucent film to be used is "3M Model #3M™ FASARA™ Glass Finishes Fabric/Washi SH2PTRK" or substantially similar material. Representative use of this translucent film on ground floor glazing is shown on this sheet.

**HANSEN**  
 ARCHITECTURE  
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Cultural Engineering  
 Civil, Structural, MEP  
 1101 5th Ave.  
 Suite 400  
 Seattle, WA 98101

SEA Landscape Architecture  
 Landscape  
 338 NW 5th Ave.  
 Portland, OR 97209

**GRAMOR**  
 DEVELOPMENT

CLIENT  
 REED'S Crossing  
 Town Center, LLC  
 19757 SW 72nd Ave.  
 #100  
 Tualatin, OR 97062

PROJECT  
 REED'S Crossing Town Center  
 Design Review Package

DRAWN BY  
 SG | MB  
 DATE  
 10.02.21  
 REVISION  
 05.22.22

SHEET  
**Elevation**  
**Building E**

**A**  
 16





**Note:**  
All building ground floor glazing along public street frontages will be clear glass.

If required by a future use, tenant improvements will have the option to apply translucent film to the ground floor glazing. Translucent film to be used is "3M Model #3M™ FASARA™ Glass Finishes Fabric/Washi H2PTRK" or substantially similar material. Representative use of this translucent film on ground floor glazing is shown on this sheet.

- 12.50.800 Design Standards for Non-Residential and Mixed-Use Development.**
- 12.50.820 Main Entries**  
 B. Entry Orientation  
 C. Entry Orientation on Corner Lots  
 D. Multiple Entries Required on Long Facades  
 E. Sidewalk Connections to Entries: **SEE SHEET LU-8**
- 12.50.830 Ground Floor Windows**  
 E. Standards for Non-Residential Development  
**SEE EXHIBIT J**
- 12.50.840 Articulation and Detailed Design**  
 B. Architectural Features  
 Architectural features meeting this standard include, but are not limited to, the features listed below or similar features.  
 1. Cornices;  
 2. Bays;  
 3. Pilasters;  
 4. Bell courses;  
 5. Ornamental masonry;  
 6. Bays;  
 7. Recesses;  
 8. Arcades;  
 9. Display windows;  
 10. Recessed or detailed entries;  
 11. Fenestration; and/or  
 12. Similar architectural features approved by the Review Authority.
- 12.50.890 Utilitarian Functions**  
 C. Standards. **SEE SHEET L4-10 for Transformer Locations**
- 12.45.800 Design Standards for Non-Residential and Mixed-Use Development.**  
 C. Standards.  
 4. Articulation and Detailed Design.  
 Incorporate at least 5 of the features found within **Section 12.50.840**.

**INCORPORATED ELEMENTS BELOW:**  
**KEYED NOTES**

- ① Cornices;
- ② Bases;
- ③ Pilasters;
- ④ Ornamental masonry;
- ⑤ Bays;
- ⑦ Recesses;
- ⑧ Arcades;
- ⑨ Display windows;

**12.50.800** Roofs on the primary structure must meet the following standards:  
 a. Sloped roofs may be permitted if the pitch is no steeper than 12/12, and no flatter than 4/12 and unless approved under paragraph b below.  
 b. Flat roofs may be permitted in compliance with the following standards:  
 i. The roof has a 2-part cornice that is harmonious with the selected building and trim materials, the upper portion of which projects at least 6 inches from the building face and at least 2 inches farther from the building face than the lower portion, and the overall height of which is based on the height of the building as shown in Table 12.50.800-1

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 Suite 400  
 Seattle, WA 98101

SEA Landscape Architecture  
 Landscape  
 338 NW 5th Ave.  
 Portland, OR 97209

**GRAMOR DEVELOPMENT**

CLIENT  
 REEDS Crossing  
 Town Center LLC  
 19747 SW 72nd Ave.  
 #100  
 Tukwila, OR 97062

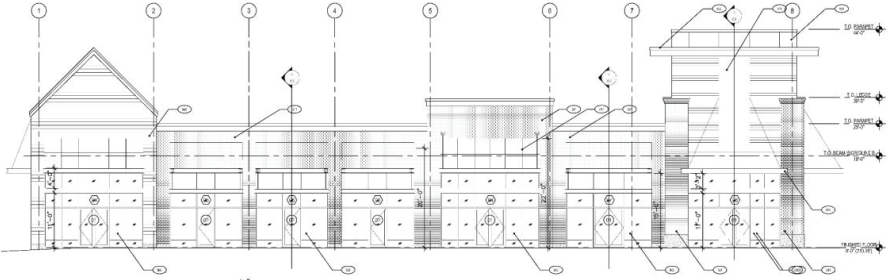
PROJECT  
 REEDS Crossing Town Center  
 Design Review Package

DRAWN BY  
 SG | MB  
 DATE  
 10.02.21  
 REVISION  
 05.22.22

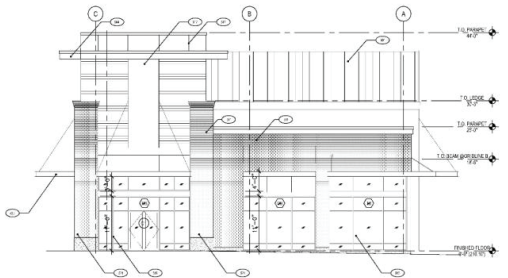
SHEET  
**Elevation  
 Building F**

**A 17**

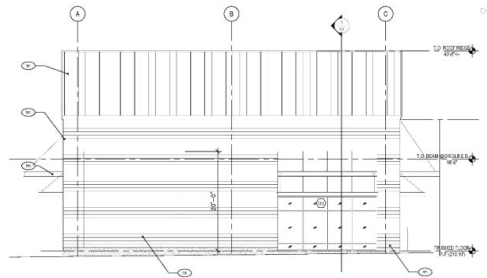
**BUILDING F - PROPOSED ELEVATION**



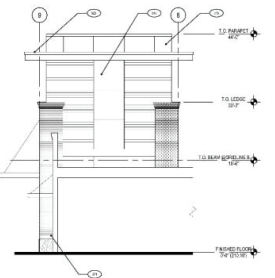
3 ELEVATION - NORTH  
SCALE: 1/8" = 1'-0"



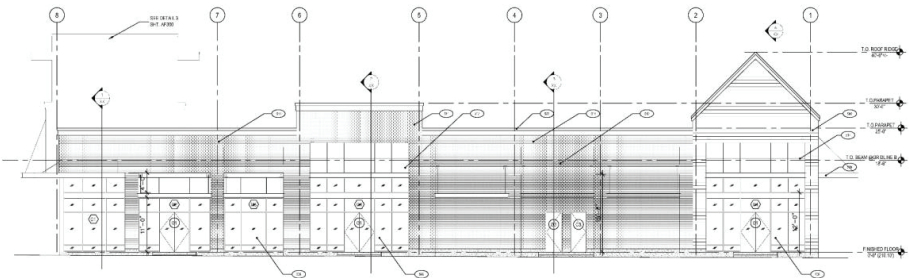
4 ELEVATION - WEST  
SCALE: 1/8" = 1'-0"



2 ELEVATION - EAST  
SCALE: 1/8" = 1'-0"



1 ELEVATION - TOWER SOUTH  
SCALE: 1/8" = 1'-0"



1 ELEVATION - SOUTH  
SCALE: 1/8" = 1'-0"

**GENERAL NOTES**

- A. SEE KEY PLAN FOR THE FINAL ELEVATIONS NOT SHOWN.
- B. SEE FLOOR PLANS FOR EXTERIOR DOOR AND WINDOW TYPES.
- C. SEE ROOF AND FINISH TYPES FOR DETAILS FOR ADDITIONAL INFORMATION.
- D. FINISH ALL EXTERIOR SURFACES TO MATCH.
- E. REFER TO SOPS FOR FINISH MATERIALS OF SORTS AREAS.

**KEYED NOTES LEGEND**

- 01 - UNPAINTED GALVANIZED STEEL METAL ROOF
- 02 - UNPAINTED GALVANIZED STEEL
- 03 - ALUMINUM FINISH METAL PANEL
- 04 - UNPAINTED ALUMINUM EXTERIORS
- 05 - BEEN LIGHT COMPACT TO WOOD BOARD
- 06 - NOT USED
- 07 - BOARD FORMED CONCRETE PANEL
- 08 - NOT USED
- 09 - NOT USED
- 10 - BRICK 1
- 11 - BRICK 2
- 12 - BRICK 3
- 13 - BRICK 4
- 14 - BRICK 5
- 15 - BRICK 6
- 16 - BRICK 7
- 17 - METAL PANEL 1
- 18 - METAL PANEL 2
- 19 - METAL PANEL 3
- 20 - STEEL CANOPY
- 21 - GAO SURFACE CONCRETE BASE
- 22 - UNPAINTED ALUMINUM FINISH CAP
- 23 - GAO METALS, SEE MECHANICAL
- 24 - LIGHT FIXTURE 1
- 25 - LIGHT FIXTURE 2
- 26 - NOT USED
- 27 - LIGHTING FIXTURE (SEE ELECTRICAL)

**LEGEND**

- BOARD FORMED CONCRETE
- FIBER CEMENT LAP SIDING
- THIN BRICK VENEER
- METAL PANEL

---

**STAMP**

---

**CLIENT**  
 REED'S CROSSING  
 TOWN CENTER, LLC  
 19922 SIX 72ND AVENUE # 100  
 TUALATIN, OR 97062

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**GENERAL NOTES**

1. ALL WORK SHALL BE ACCORDING TO ALL LOCAL ORDINANCES AND REGULATIONS. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF TUALATIN, OREGON.

2. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF TUALATIN, OREGON.

3. ALL WORK SHALL BE ACCORDING TO THE ORDINANCES AND REGULATIONS OF THE CITY OF TUALATIN, OREGON.

---

**KEY PLAN**

TRUE NORTH

---

NO. 10-000-0000 1/24

---

**PRELIMINARY  
NOT FOR CONSTRUCTION**

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NO. **BUILDING - F**

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PROJECT NAME:  
**REED'S CROSSING  
TOWN CENTER**

**HILLSBORO  
OREGON**

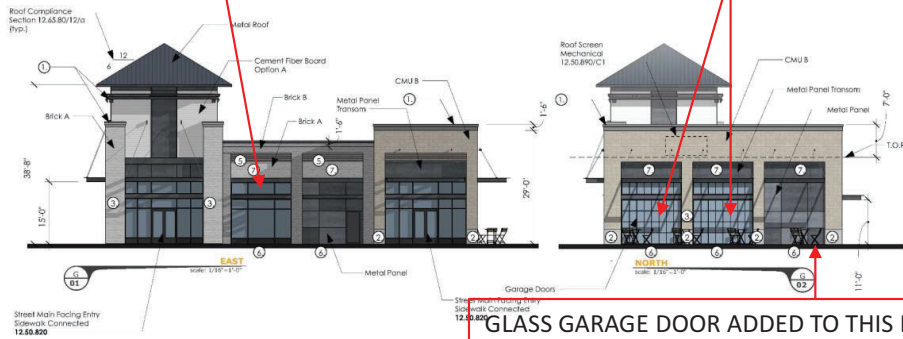
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DRAWN BY: AS SHOWN	SCALE: 
DATE: 10/10/2022	A200
CHECKED BY: DH	PROJECT NO.: 2100012.02
DATE: 10/10/2022	PROJECT NO.: 2100012.02



GLASS REPLACED WITH METAL PANEL

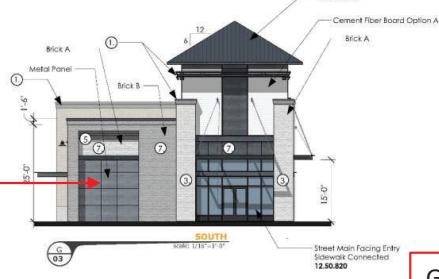
GLASS REPLACED WITH METAL PANEL



GLASS GARAGE DOOR ADDED TO THIS BAY

SOUTH ELEVATION VISIBLE FROM BLANTON STREET

GLASS REPLACES METAL PANELS



GLASS REPLACED WITH METAL PANEL



**Note:**  
All building ground floor glazing along public street frontages will be clear glass.

If required by a future use, tenant improvements will have the option to apply translucent film to the ground floor glazing. Translucent film to be used is "3M Model #3M™ FASARA™ Glass Finishes Fabric/Washi #H2PTRK" or substantially similar material. Representative use of this translucent film on ground floor glazing is shown on this sheet.

- 12.50.800 Design Standards for Non-Residential and Mixed-Use Development.**
- 12.50.820 Main Entries**
- B. Entry Orientation
  - C. Entry Orientation on Corner Lots
  - D. Multiple Entries Required on Long Facades
  - E. Sidewalk Connections to Entries: **SEE SHEET LU-8**
- 12.50.830 Ground Floor Windows**
- E. Standards for Non-Residential Development
- SEE EXHIBIT J**
- 12.50.840 Articulation and Detailed Design**
- B. Architectural Features
- Architectural features meeting this standard include, but are not limited to, the features listed below or similar features.
- 1. Cornices;
  - 2. Bases;
  - 3. Pilasters;
  - 4. Bell courses;
  - 5. Ornamental masonry;
  - 6. Bays;
  - 7. Recesses;
  - 8. Arcades;
  - 9. Display windows;
  - 10. Recessed or detailed entries;
  - 11. Fenestration; and/or
  - 12. Similar architectural features approved by the Review Authority.
- 12.50.890 Utilitarian Functions**
- C. Standards. **SEE SHEET L6-10 for Transformer Locations**
- 12.45.800 Design Standards for Non-Residential and Mixed-Use Development.**
- C. Standards.
  - 4. Articulation and Detailed Design. Incorporate at least 5 of the features found within **Section 12.50.840**.

**INCORPORATED ELEMENTS BELOW:**  
**KEYED NOTES**

- ① Cornices;
- ② Bases;
- ③ Pilasters;
- ④ Ornamental masonry;
- ⑤ Bays;
- ⑥ Recesses;
- ⑦ Arcades;
- ⑧ Display windows;

- 12.Bools.** Roofs on the primary structure must meet the following standards:
- a. Sloped roofs may be permitted if the pitch is no steeper than 12/12, and no flatter than 4/12 and unless approved under paragraph b below.
  - b. Flat roofs may be permitted in compliance with the following standards:
    - i. The roof has a 2-part cornice that is harmonious with the selected building and trim materials, the upper portion of which projects at least 6 inches from the building face and at least 2 inches farther from the building face than the lower portion, and the overall height of which is based on the height of the building as shown in Table 12.50.800-1

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Seattle, WA 98101

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Landscape  
338 NW 5th Ave.  
Portland, OR 97209

**GRAMOR DEVELOPMENT**

CLIENT  
REED'S Crossing  
Town Center LLC  
19747 SW 72nd Ave.  
#100  
Tukwila, OR 97062

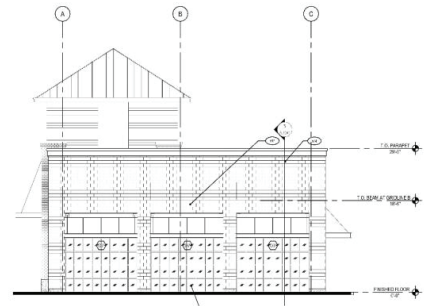
PROJECT  
REED'S Crossing Town Center  
Design Review Package

DRAWN BY  
SG | MB  
DATE  
10.02.21  
REVISION  
05.22.22

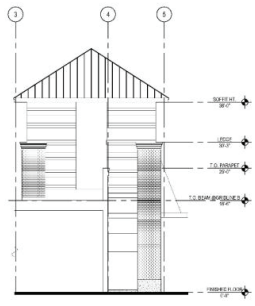
SHEET  
**Elevation  
Building G**

**A 18**

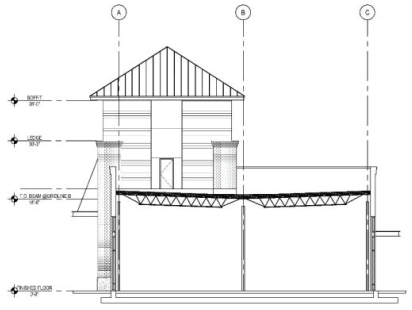
**BUILDING G - PROPOSED ELEVATION**



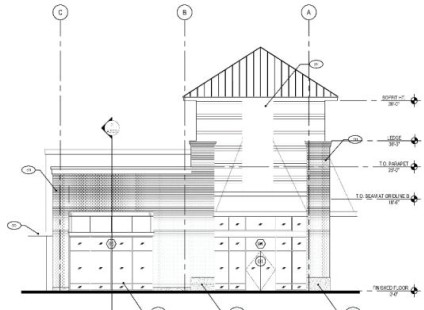
6 ELEVATION - NORTH  
SCALE: 1/8" = 1'-0"



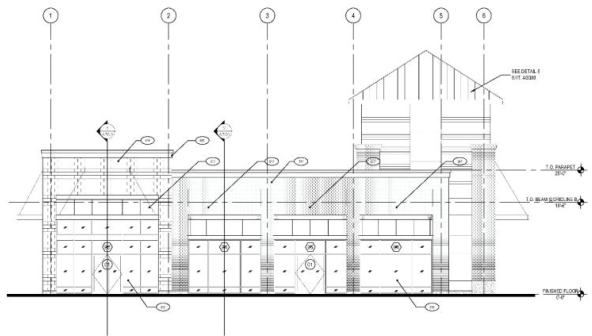
3 ELEVATION - TOWER WEST  
SCALE: 1/8" = 1'-0"



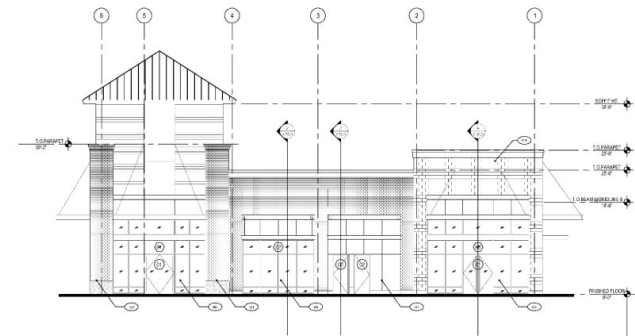
5 ELEVATION - TOWER NORTH  
SCALE: 1/8" = 1'-0"



4 ELEVATION - SOUTH  
SCALE: 1/8" = 1'-0"



2 ELEVATION - WEST  
SCALE: 1/8" = 1'-0"



1 ELEVATION - EAST  
SCALE: 1/8" = 1'-0"

**GENERAL NOTES**

- A. SEE WALL SECTIONS FOR PARTIAL ELEVATIONS NOT SHOWN.
- B. SEE FLOOR PLANS FOR EXTERIOR DOOR AND WINDOW TYPES.
- C. SEE DOOR AND WINDOW TYPES/DETAILS FOR ADDITIONAL INFORMATION.
- D. PANELS SHALL BE FINISHED MODULAR/GRAB ITEMS TO MATCH ADJACENT WALLS OR FINISH CO. OR BRG.
- E. REFER TO NOTES FOR FRESH MATERIALS OF SOFFIT AREAS.

**KEYED NOTES LEGEND**

- S01 - UNFINISHED GYP BOARD METAL ROOF
- S02 - UNFINISHED GYP BOARD
- S03 - UNFINISHED GYP BOARD
- S04 - ALUMINUM BRICK METAL FACIA PANEL
- S05 - UNFINISHED ALUMINUM STEERING CAP
- S06 - FIBER CEMENT UP SIDING
- S07 - NOT USED
- S08 - BOARD FORMED CONCRETE PANEL
- S09 - NOT USED
- S10 - NOT USED
- S11 - BRICK 1 THIN BRICK VENEER
- S12 - BRICK 2 THIN BRICK VENEER
- S13 - BRICK 3 THIN BRICK VENEER
- S14 - BRICK 4 THIN BRICK VENEER
- S15 - BRICK 5 THIN BRICK VENEER
- S16 - METAL PANEL 1
- S17 - METAL PANEL 2
- S18 - METAL PANEL 3
- S19 - STEEL CANOPY
- S20 - CAST IN PLACE CONCRETE BASE
- S21 - UNFINISHED ALUMINUM FINISH CAP
- S22 - CAST IN PLACE CONCRETE
- S23 - LIGHT FIXTURE PER ELECTRICAL
- S24 - LIGHT FIXTURE 1
- S25 - LIGHT FIXTURE 2
- S26 - LIGHT FIXTURE 3
- S27 - NOT USED
- S28 - (REFER TO KEY)

**LEGEND**

- BOARD FORMED CONCRETE
- FIBER CEMENT UP SIDING
- THIN BRICK VENEER
- METAL PANEL
- LIGHT FIXTURE PER ELECTRICAL



**STAMP**

CLIENT  
REED'S CROSSING  
Town Center, Inc.  
19927 SW 72ND AVENUE # 100  
TUALATIN, OR 97062

**GENERAL NOTES**

1. ALL WORK SHALL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS AND ALL APPLICABLE CODES AND STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION.

**KEY PLAN**



TRUE NORTH

PRELIMINARY  
NOT FOR CONSTRUCTION

**BUILDING - G**

REED'S CROSSING  
TOWN CENTER

HILLSBORO  
OREGON

DATE: AS SHOWN	DATE: 10/10/2022
BY: DH	CHK: CK
PROJECT: PLN: 0000/00	DATE: 2100012.02

UPPER GLASS REPLACED WITH METAL PANELS

SOUTH ELEVATION VISIBLE FROM BLANTON STREET

AWNING REPLACED WITH METAL CANOPY

THIS BAY REMOVED AND ADDED TO J

BAY REMOVED AND ADDED TO J

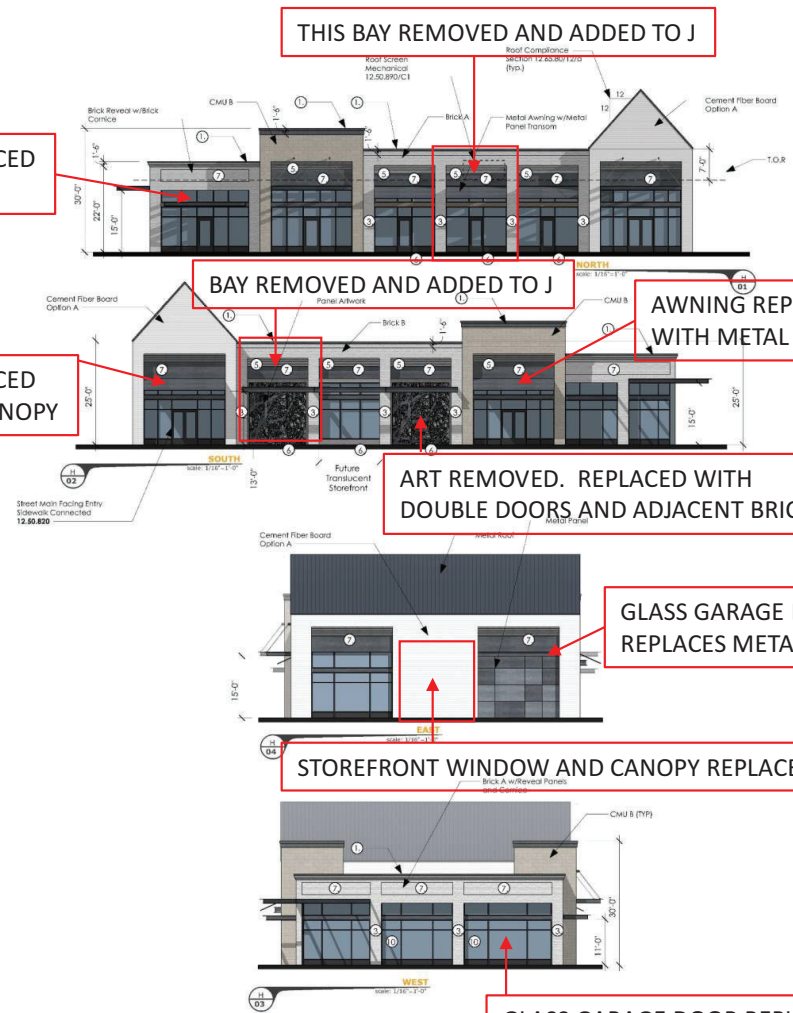
AWNING REPLACED WITH METAL CANOPY

ART REMOVED. REPLACED WITH DOUBLE DOORS AND ADJACENT BRICK

GLASS GARAGE DOOR REPLACES METAL PANEL

STOREFRONT WINDOW AND CANOPY REPLACES BRICK

GLASS GARAGE DOOR REPLACES STOREFRONT GLAZING



**12.50.800 Design Standards for Non-Residential and Mixed-Use Development.**

- 12.50.820 Main Entries**  
 B. Entry Orientation  
 C. Entry Orientation on Corner Lots  
 D. Multiple Entries Required on Long Facades  
 E. Sidewalk Connections to Entries: **SEE SHEET LU-8**

- 12.50.830 Ground Floor Windows**  
 E. Standards for Non-Residential Development  
**SEE EXHIBIT J**

- 12.50.840 Articulation and Detailed Design**  
 B. Architectural Features  
 Architectural features meeting this standard include, but are not limited to, the features listed below or similar features.

1. Cornices;  
 2. Bases;  
 3. Pilasters;  
 4. Bell courses;  
 5. Ornamental masonry;  
 6. Bays;  
 7. Recesses;  
 8. Arcades;  
 9. Display windows;  
 10. Recessed or detailed entries;  
 11. Fenestration; and/or  
 12. Similar architectural features approved by the Review Authority.

- 12.50.890 Utilitarian Functions**  
 C. Standards. **SEE SHEET L6-10 for Transformer Locations**

- 12.45.800 Design Standards for Non-Residential and Mixed-Use Development.**  
 C. Standards. **SEE SHEET L6-10 for Transformer Locations**  
 4. Articulation and Detailed Design.  
 Incorporate at least 5 of the features found within **Section 12.50.840.**

**INCORPORATED ELEMENTS BELOW:**  
**KEYED NOTES**

- ① Cornices;  
 ② Bases;  
 ③ Pilasters;  
 ④ Ornamental masonry;  
 ⑤ Bays;  
 ⑥ Recesses;  
 ⑦ Arcades;  
 ⑧ Display windows;

- 12.50.800. Roofs on the primary structure must meet the following standards:  
 a. Sloped roofs may be permitted if the pitch is no steeper than 12/12, and no flatter than 4/12 and unless approved under paragraph b below.  
 b. Flat roofs may be permitted in compliance with the following standards:  
 i. The roof has a 2-part cornice that is harmonious with the selected building and trim materials, the upper portion of which projects at least 6 inches from the building face and at least 2 inches farther from the building face than the lower portion, and the overall height of which is based on the height of the building as shown in Table 12.50.800-1

**Note:**  
 All building ground floor glazing along public street frontages will be clear glass.

If required by a future use, tenant improvements will have the option to apply translucent film to the ground floor glazing. Translucent film to be used is "3M Model #3M™ FASARA™ Glass Finishes Fabric/Washi SH2PTRK" or substantially similar material. Representative use of this translucent film on ground floor glazing is shown on this sheet.

PROJECT  
 REED'S Crossing Town Center  
 Design Review Package

DRAWN BY  
 SG | MB  
 DATE  
 10.02.21  
 REVISION  
 05.22.22

SHEET  
**Elevation**  
**Building H**

**A** 19

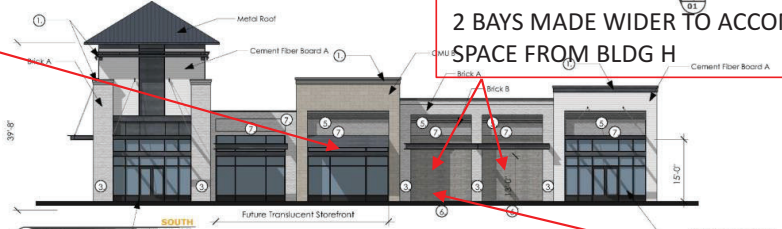
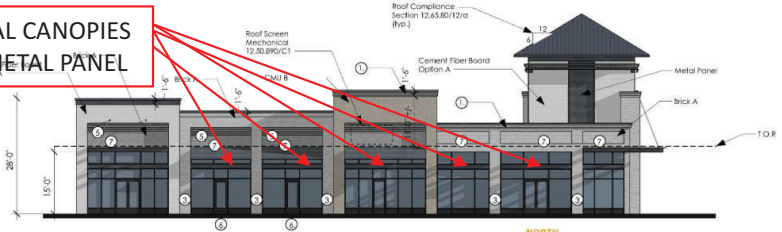




AWNINGS REPLACED WITH METAL CANOPIES  
UPPER GLASS REPLACED WITH METAL PANEL

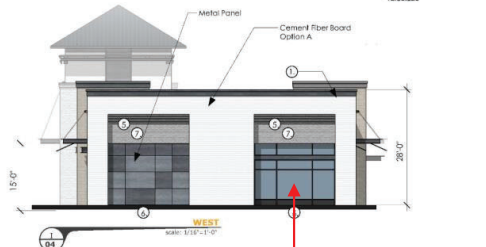
AWNING REPLACED WITH METAL CANOPY

SOUTH ELEVATION VISIBLE FROM BLANTON STREET



UPPER WINDOW REPLACED WITH METAL PANEL

DOUBLE DOORS ADDED IN THIS BAY



GLASS GARAGE DOOR REPLACES STOREFRONT

**Note:**  
All building ground floor glazing along public street frontages will be clear glass.  
If required by a future use, tenant improvements will have the option to apply translucent film to the ground floor glazing. Translucent film to be used is "3M Model #3M™ FASARA™ Glass Finishes Fabric/Wash H2PTRK" or substantially similar material. Representative use of this translucent film on ground floor glazing is shown on this sheet.

- 12.50.800 Design Standards for Non-Residential and Mixed-Use Development.**
- 12.50.820 Main Entries**
- B. Entry Orientation
- C. Entry Orientation on Corner Lots
- D. Multiple Entries Required on Long Facades
- E. Sidewalk Connections to Entries: **SEE SHEET LU-8**
- 12.50.830 Ground Floor Windows**
- E. Standards for Non-Residential Development **SEE EXHIBIT J**
- 12.50.840 Articulation and Detailed Design**
- B. Architectural Features
- Architectural features meeting this standard include, but are not limited to, the features listed below or similar features.
  1. Cornices;
  2. Bases;
  3. Pilasters;
  4. Bell Courses;
  5. Ornamental masonry;
  6. Bays;
  7. Recesses;
  8. Arcades;
  9. Display windows;
  10. Recessed or detailed entries;
  11. Fenestration; and/or
  12. Similar architectural features approved by the Review Authority.
- 12.50.890 Utilitarian Functions**
- C. Standards. **SEE SHEET L6-10 for Transformer Locations**
- 12.65.800 Design Standards for Non-Residential and Mixed-Use Development.**
- C. Standards.
- 4. Articulation and Detailed Design. Incorporate at least 5 of the features found within **Section 12.50.840.**

**INCORPORATED ELEMENTS BELOW:**  
**KEYED NOTES**

- ① Cornices;
- ② Bases;
- ③ Pilasters;
- ④ Ornamental masonry;
- ⑤ Bays;
- ⑥ Recesses;
- ⑦ Arcades;
- ⑧ Display windows;

- 12.60.000 Roofs:** Roofs on the primary structure must meet the following standards:
  - a. Sloped roofs may be permitted if the pitch is no steeper than 12/12, and no flatter than 4/12 and unless approved under paragraph b below.
  - b. Flat roofs may be permitted in compliance with the following standards:
    - i. The roof has a 2-part cornice that is harmonious with the selected building and trim materials; the upper portion of which projects at least 6 inches from the building face and at least 2 inches farther from the building face than the lower portion, and the overall height of which is based on the height of the building as shown in Table 12.50.800-1

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**GRAMOR DEVELOPMENT**

CLM  
REED'S Crossing  
Town Center LLC  
19767 SW 72nd Ave.  
#103  
Tualatin, OR 97062

PROJECT  
REED'S Crossing Town Center  
Design Review Package

SHEET NO  
SG 1 MB  
DATE  
10.02.21  
REVISED  
05.22.22

SHEET  
Elevation  
Building 1

**A 20**

ID Changes from I to J





MAIN PLAZA AND TOE OF BOOT LANDSCAPE RENDERINGS





BUILDING D CANOPY



BUILDING D AND BUILDING C CANOPIES

